

10728 MORA DRIVE LOS ALTOS HILLS, CA 94024



GREEN FEATURES

- OPEN SPACE EASEMENT
- WILDLIFE CORRIDOR
- NATIVE PLANTS TO CREATE LOCAL HABITAT
- LIVING ROOF
- WATER EFFICIENCY SYSTEMS



785 CASTRO STREET
SUITE A
MOUNTAIN VIEW,
CALIFORNIA 94041
p: 650.324.0888
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THIS DRAWING EMPLOYS IDEAS, ARRANGEMENTS, PLANS, AND SPECIFICATIONS WHICH ARE PROPRIETARY TO INHABITURE. DESIGN, THEY WERE DESIGNED, CREATED, EVOLVED, AND DEVELOPED FOR USE SOLELY IN CONNECTION WITH THE SPECIFIC PROJECT. NO TRANSFER OF ANY RIGHTS HEREIN IS INTENDED OR EFFECTED. THE DRAWINGS ARE NOT TO BE REPRODUCED, COPIED, REPRODUCED OR COPIED IN WHOLE OR IN PART, OR USED IN THE CONSTRUCTION OF BUILDINGS, STRUCTURES OR ANY PORTIONS THEREOF OTHER THAN THE SPECIFIED PROJECT.

NEW RESIDENCE
10728 MORA DRIVE (LOT-1)
LOS ALTOS HILLS, CA 94024

PROJECT INFORMATION		CODES & STANDARDS	FIRE PROTECTION	SHEET INDEX
PROPERTY DATA		LOCATION 	<p>Review of this Developmental proposal is limited to acceptability of site access and water supply as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work the applicant shall make application to, and receive from, the building Department all applicable construction permits.</p> <p>Wildland-Urban Interface: This project is located within the designated Wildland-Urban Interface Fire Area. The building construction shall comply with the provisions of California Building Code (CBC) Chapter 7A. Note that vegetation clearance shall be compliance with CBC Section 701A.3.2.4 prior to project final approval. Check with the Planning Department for related landscape plan requirements.</p> <p>Fire Sprinklers Required: An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: In all new on- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 square feet. Exception: A one-time addition to an existing building that does not total more than 1,000 square feet of building area. Note: The owner(s), occupant(s) and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. Note: Covered porches, patios, balconies and attic spaces may require fire sprinkler coverage. For buildings 3601 to 6200 square feet the number of design sprinklers shall include all sprinklers within the most remote room or compartment up to a maximum of three (3) sprinklers. A State Of California licensed (c-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. CRC Sec. 313.2 as adopted and amended by LHMHC.</p> <p>Water Supply Requirements: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility for the applicant and any contractor and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of the purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of purveyor of record, final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by the purveyor as having been met by the application(s). 2010 CFC Sec.903.3.5 and Health and Safety Code 13114.7</p> <p>Address identification: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property, these numbers shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches high with a minimum stroke width of 0.5 inch. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure.</p> <p>Construction Site Fire Safety: All construction sites must comply with applicable provision of the CFC Chapter 33 and our Standard Detail and Specification SI-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33</p>	C0 COVER SHEET C1 SITE PLAN C2 EXISTING TOPOGRAPHY C3 GRADING, DRAINAGE & UTILITY PLAN C4 GRADING & DRAINAGE DETAILS A1.1 FLOOR PLANS A2.1 EXTERIOR ELEVATIONS A2.2 EXTERIOR ELEVATIONS A3.1 BUILDING SECTION & ROOF PLAN A4.1 BUILDING DETAILS
<ul style="list-style-type: none"> • OWNER: FORREST LINEBARGER • ADDRESS: 10728 MORA DRIVE LOS ALTOS HILLS, CA 94024 • APN #: 331-15-061 (LOT 1) • ZONING: R-A • OCCUPANCY GROUP(S): R3/U1 • GROSS LOT SIZE: 16,311 ♂ • FLOOR AREA: 2,483 ♂ • MAXIMUM FLOOR AREA: 2,910 ♂ • DEVELOPMENT AREA: 4,977 ♂ • MAXIMUM DEVELOPMENT AREA: 5,010 ♂ 				2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA FIRE CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA RESIDENTIAL CODE CALIFORNIA ENERGY CODE 2019 (TITLE 24) CALIFORNIA GREEN BUILDING STANDARDS CODE 2019
PROPERTY DESC. NEW SINGLE FAMILY RESIDENCE WITH ATTACHED 2-CAR GARAGE		CONSULTANTS Geotechnical WAYNE TING & ASSOCIATES, INC. 42329 Osgood Road, Unit A, Fremont, CA 94539 Phone (510) 623-7768	Civil Engineer John C. Berry 1733 Woodside Road, S335 Redwood City, CA 94061 Phone: (650) 368-0750	
		Structural Engineer Sezen & Moon Structural Engineering, INC. 274 E. Hamilton Ave., Suite C Campbell, CA 95008 Phone (408) 871-7273	Title-24 NRG Compliance LP www.nrgcompliance.com email: nrg@nrgcompliance.com Phone: (707) 237-6957	

COVER SHEET

DATE
 PLANNING SUBMITTAL
 11/15/2018
 REV 1 - 07/09/2019
 REV 2 - 09/02/2019
 REV 3 - 12/06/2019
 REV 4 - 6/30/2020
 REV 5 - 9/16/2020

CO



SCALE: 1"=10'-0"

LEGEND

- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE
- GEOLOGICAL ZONE
- FENCE LINE
- FOOTPRINT OF STRUCTURE
- (E) CONTOUR LINE
- TOE OF SLOPE
- FIRE HYDRANT
- SANITARY SEWER MANHOLE
- SEWER LINE
- (E) OVERHEAD ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE
- WATER LINE
- UTILITY POLE
- SPOT ELEVATION

TOPOGRAPHY

MORA DRIVE, LOS ALTOS HILLS, CA.
APN# 331-15-061



TOPOGRAPHY		10728 MORA DRIVE LOS ALTOS HILLS, CA.	
Berry and Associates		MENLO PARK, CA 94025 PHONE: 650.368.0750 FAX: 650.368.1810	
NO.	DATE	REVISION	
	11/16/18	PLANNING SUBMITTAL	
	7/8/19	REVISION 1	
	9/2/19	REVISION 2	
	12/6/19	REVISION 3	
	6/30/2020	REVISION 4	
CHECKED BY: JB			
APPROVED BY: JB			
JOB#: 2874			

C2

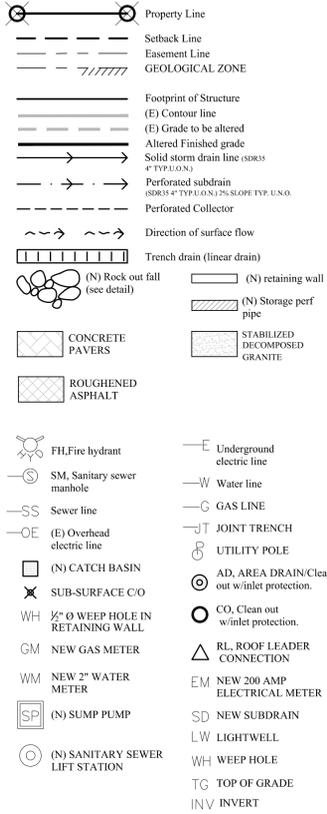
NOTES

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE DESIGN ENGINEER OF ANY DIFFERENCES OF LOCATION OF EXISTING UTILITIES FROM THAT SHOWN OR OF ANY CONFLICTS WITH THE DESIGN BEFORE CONTINUING WORK IN THAT AREA.
- THE DESIGN ENGINEER MAKES NO REPRESENTATION AS TO THE ACCURACY OR COMPLETENESS OF THE LOCATION, OR EXISTENCE OR NONEXISTENCE OF ANY UNDERGROUND UTILITIES OR STRUCTURES, WITHIN THE LIMITS OF THIS PROJECT. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONARY MEANS TO PROTECT THE UTILITIES AND STRUCTURES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
- CONTRACTOR SHALL KEEP EXISTING STREETS FREE FROM DIRT AND DEBRIS DURING ALL PHASES OF CONSTRUCTION.
- CONTRACTOR WILL BE RESPONSIBLE FOR ADEQUATE TEMPORARY DRAINAGE FACILITIES AND WINTERIZATION MEASURES DURING RAINY SEASON OPERATION AND PROTECT ALL GRADED AREAS FROM EROSION.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AT THIS PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THE PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AT ALL TIMES.
- CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE CONSTRUCTION SAFETY CODES.
- CONTRACTOR SHALL SATISFY HIMSELF AS TO THE CORRECTNESS OR EXISTING TOPOGRAPHY AND OTHER SITE CONDITIONS PRIOR TO CONSTRUCTION.

EARTHWORK CALCS - HOUSE

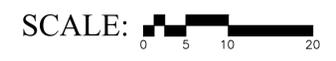
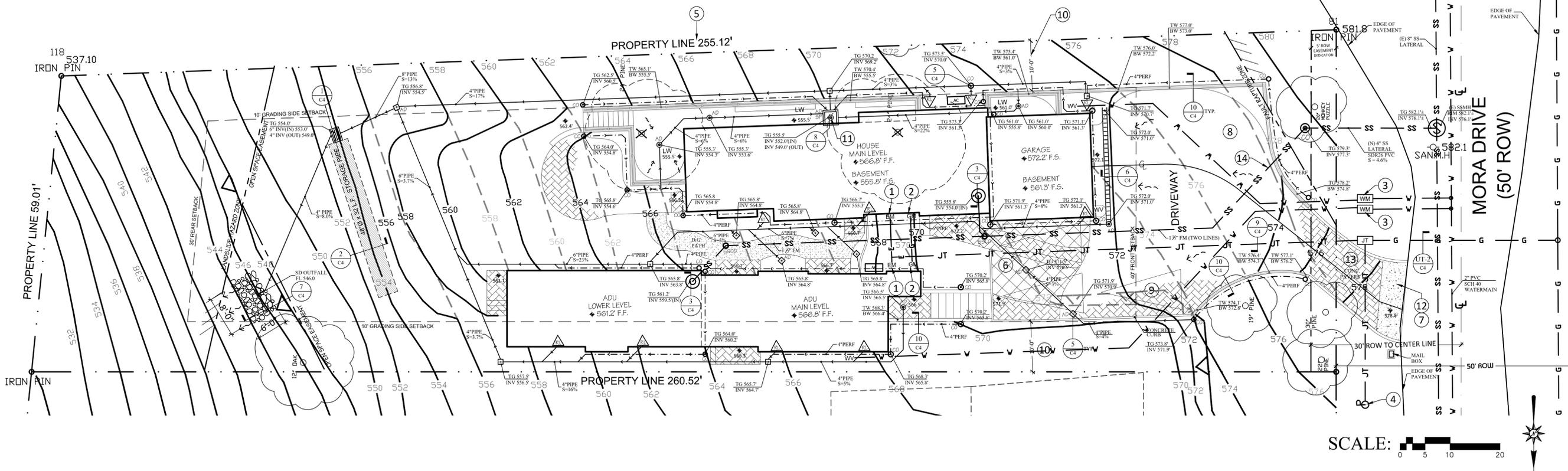
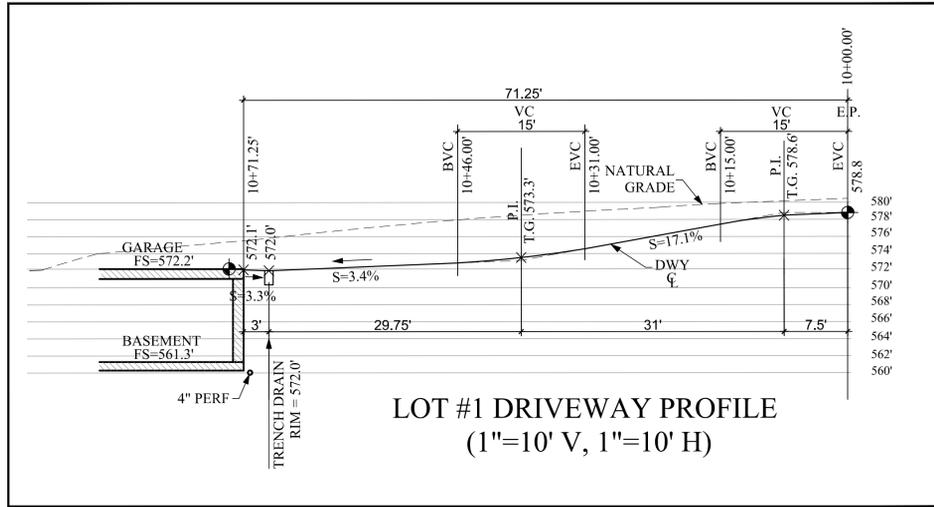
TYPE OF USE	AMOUNT		MAX. DEPTH	
	CUT (CUBIC YARDS)	FILL (CUBIC YARDS)	CUT (FT.)	FILL (FT.)
DRIVEWAY, ACCESS ROAD	200		4'-0"	
HOUSE BUILDING PAD(S)	855		16'-8"	
LANDSCAPING		133		3'-0"
OTHER USE (TRENCH)	25			
TOTALS	1,080	133		
TOTAL EARTHWORK		1,213		
IMPORT	0	0		
EXPORT	947	0		

LEGEND



WORK NOTES

- (N) GAS METER & LATERAL. CONNECT TO (E) GAS MAIN
- INSTALL (N) ELECT. CONDUIT PER PG&E STANDARDS. (N) 200 AMP ELECTRICAL METER & 1"Ø CABLE & TELEPHONE CONDUIT LINES WITH PULL CHORDS. INSTALL IN JOINT TRENCH AS SHOWN
- (N) 2" WATER METER, PROVIDE SCHED 40 PVC 2"Ø PIPE TO NEW WATER MAIN AS SHOWN. PROVIDE (N) 2"Ø SCHED 40 PIPE TO HOME AS SHOWN
- (E) UTILITY POLE
- BEARING AND DISTANCES DETERMINED BY PLAT & LEGAL DESCRIPTION DATED 8-12-06
- PROVIDE 10' WIDE BY 20' LONG 3RD & 4TH PARKING SPACE
- DRIVEWAY APPROACH SURFACE TO BE PAVED WITH ASPHALT FROM EDGE OF MORA DRIVE THROUGH PATHWAY, NO LESS THAN 5' FROM EDGE OF PAVEMENT ON MORA DRIVE. PATHWAY ASPHALT TO BE ROUGHENED PER TOWN'S REQUIREMENTS
- BACKUP AREA ADJACENT TO GARAGE SHALL COMPLY WITH LAH GRADING POLICY MUNICIPAL CODE 10-2.7026
- ADU PARKING, 10' W x 20' L
- NO GRADING WITHIN 10' OF PROPERTY LINE PER 10-2.407 OF THE LOS ALTOS HILLS MUNICIPAL CODE EXCEPT AS REQUIRED FOR ADU
- ZOELLER 508-0006 AQUANOT 508 SUMP PUMP WITH BATTERY BACKUP
- AN ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT OF WAY
- DRIVEWAY TO BE 14' WIDE
- COMBINE THE TWO 1 1/2" FORCED MAIN SANITARY SEWERS INTO SAME TRENCH, PROVIDE MIN. 3' CLEAR BETWEEN SEWER LINES AND WATER LINES



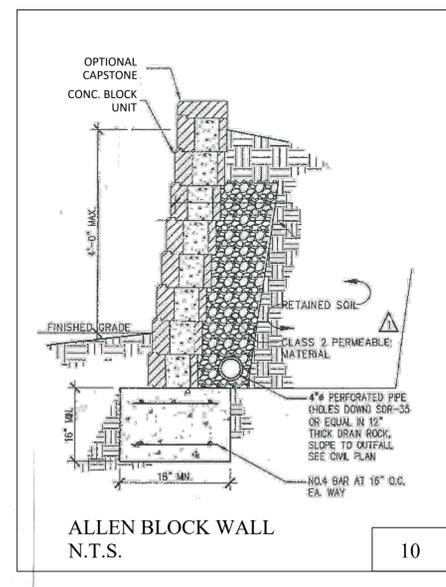
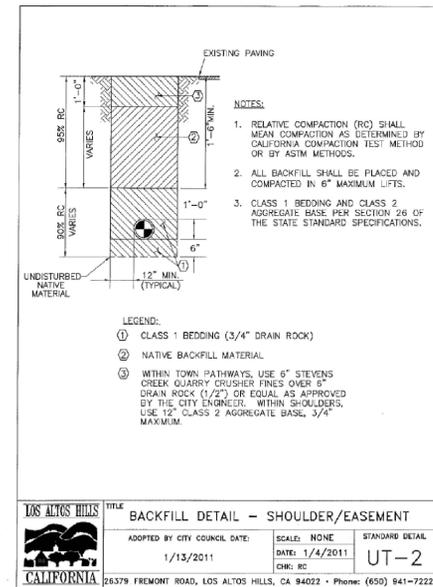
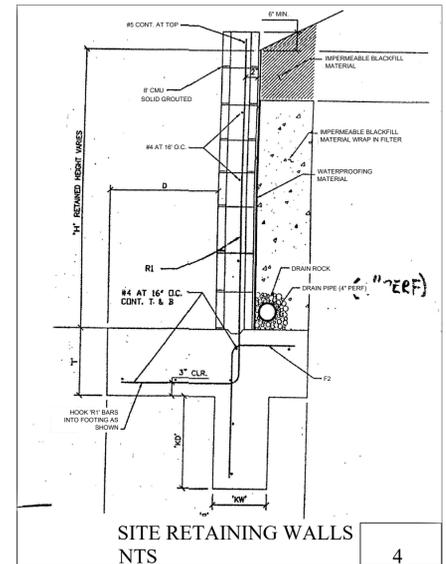
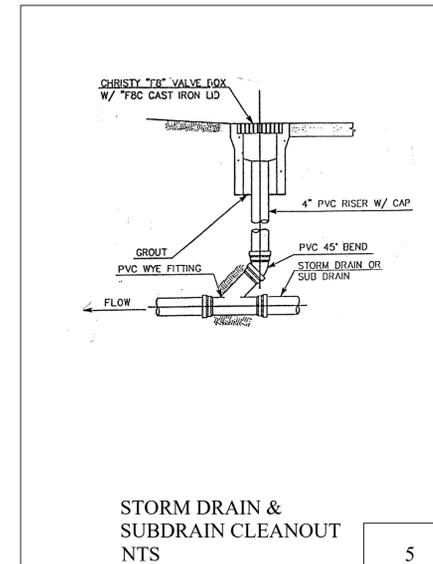
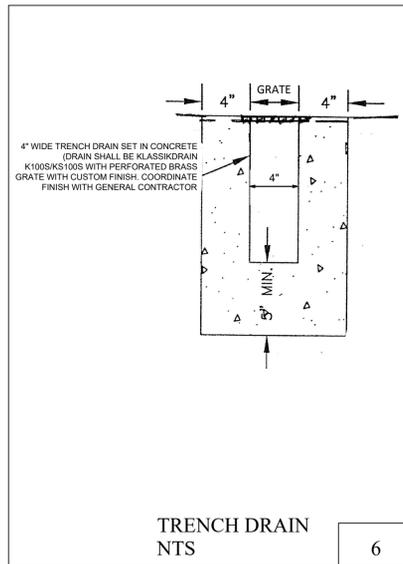
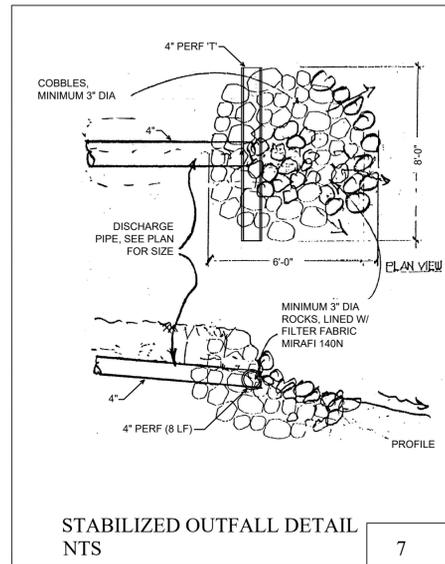
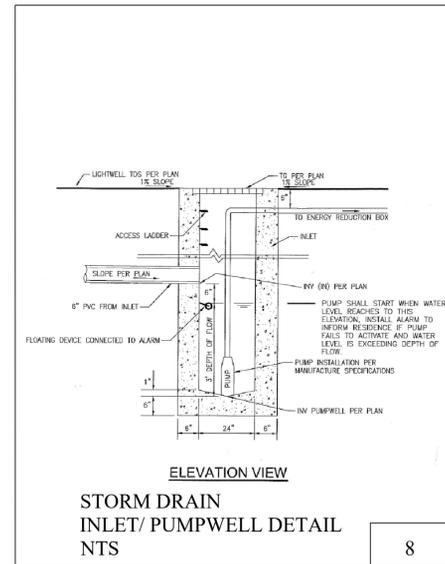
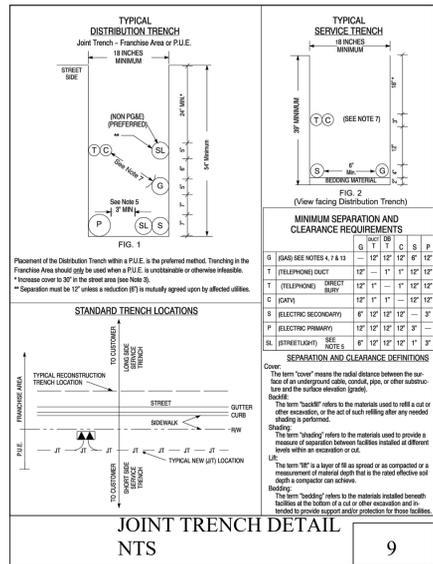
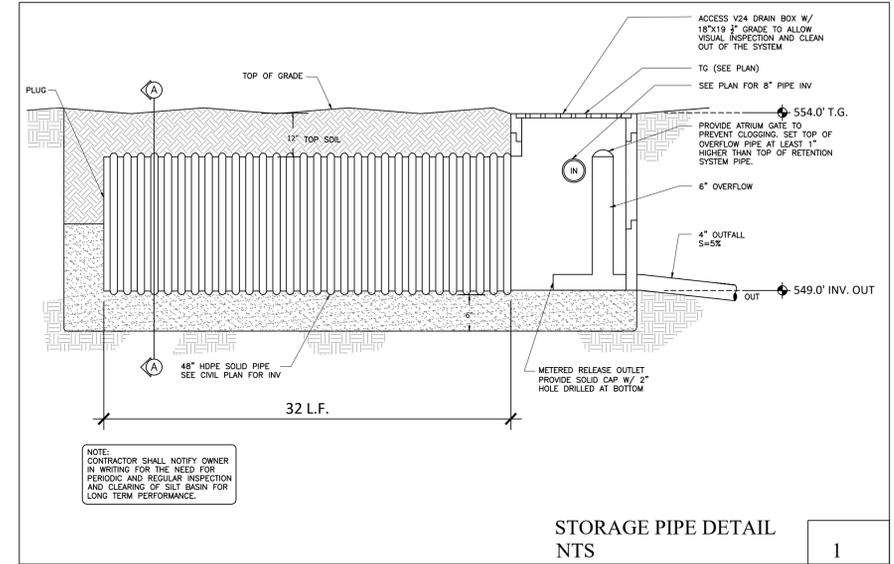
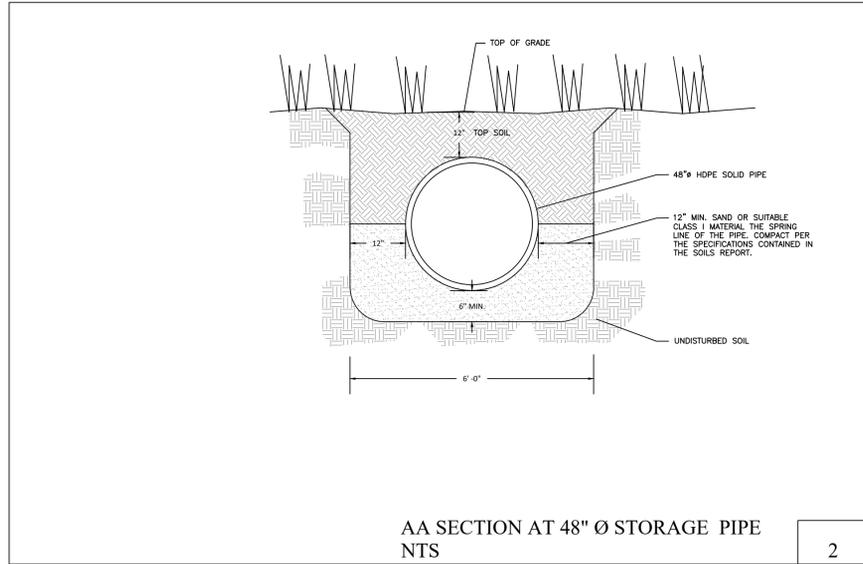
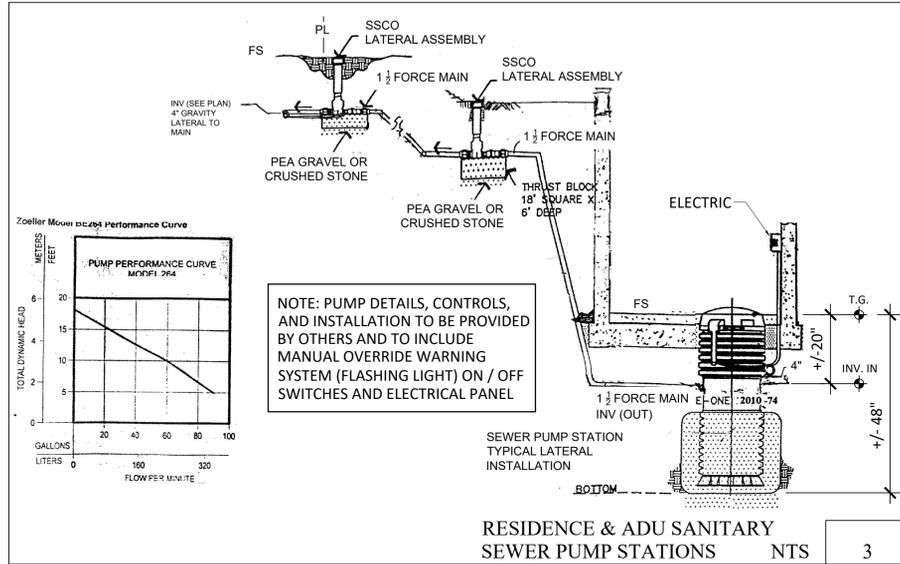
Berry and Associates
 MENOLO PARK, CA 94025
 PHONE: 650.368.0750 FAX: 650.368.1810

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	7/8/19	REVISION 1
	9/2/19	REVISION 2
	12/6/19	REVISION 3
	6/30/2020	REVISION 4

CHECKED BY: JB
 APPROVED BY: JB
 JOB#: 2874

GRADING, DRAINAGE & UTILITY PLAN
 10728 MORA DRIVE
 LOS ALTOS HILLS, CA.

C3



REGISTERED PROFESSIONAL ENGINEER
 JOHN C. BERRY
 No. 18734
 CIVIL
 STATE OF CALIFORNIA

Berry and Associates
 10728 MORA DRIVE
 LOS ALTOS HILLS, CA.
 PHONE: 650.368.0750 FAX: 650.368.1810

NO.	DATE	REVISION
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3	9/2/19	REVISION 2
4	12/6/19	REVISION 3
5	6/30/2020	REVISION 4

CHECKED BY: JB
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SITE & DRAINAGE DETAIL

C4

Legend

- Walls**
- Existing Wall to be Removed
 - Existing Wall to Remain
 - Existing Interior Wall to be Insulated
 - Half Wall w/ Height
 - New Wall to be Built
 - New Interior Wall to be Insulated

- Doors**
- Existing Door to be Removed
 - Existing Door to Remain
 - New Door to be Installed
XXX = Door Number (see Door Schedule)

- Windows**
- Existing Window to be Removed
 - Existing Window to Remain
 - New Window to be Installed
XXX = Window Number (see Window Schedule)

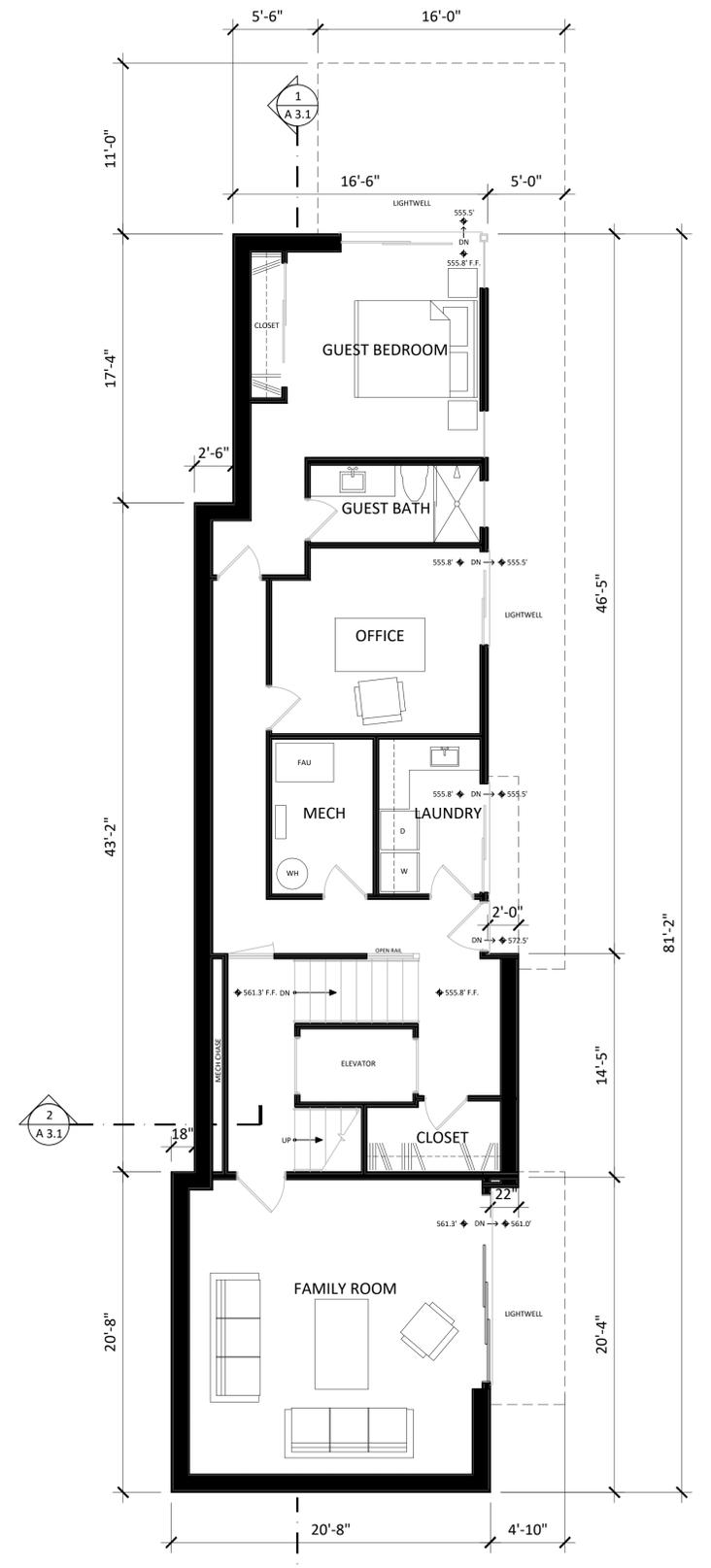
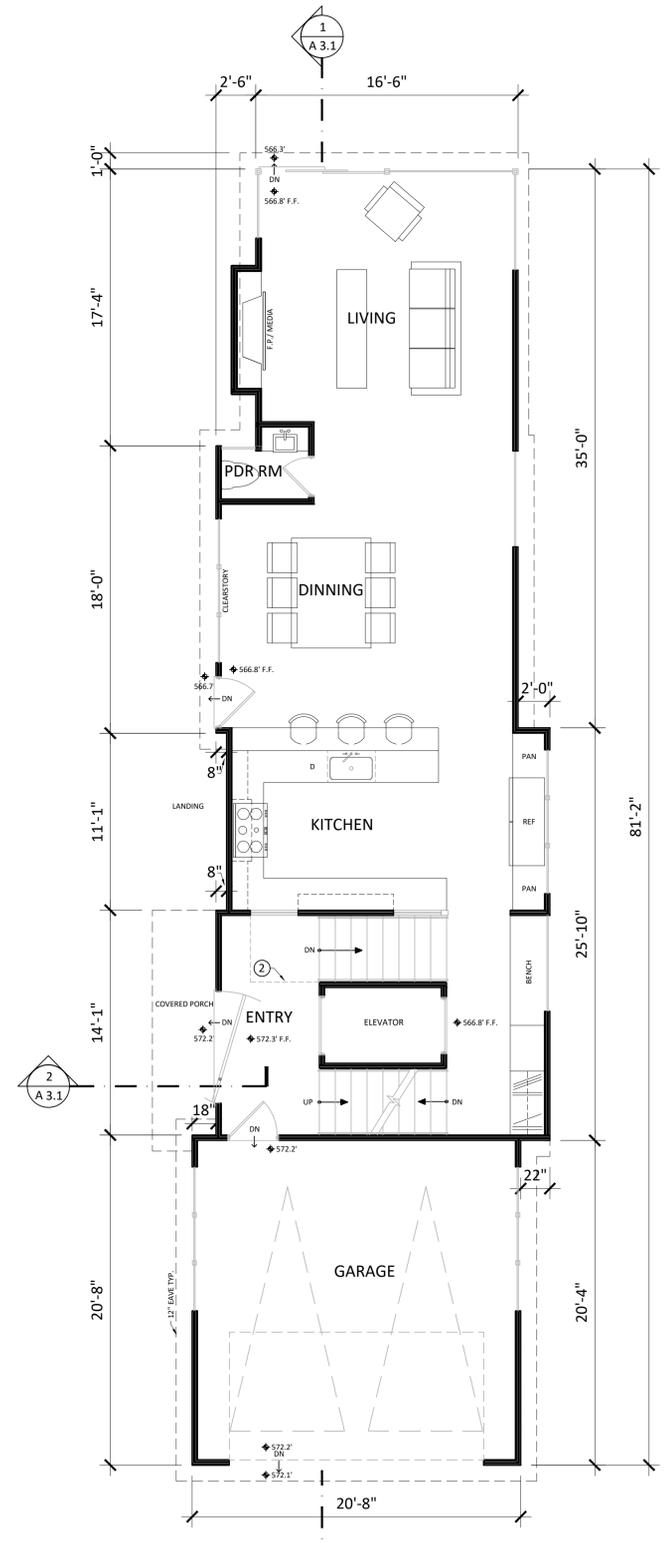
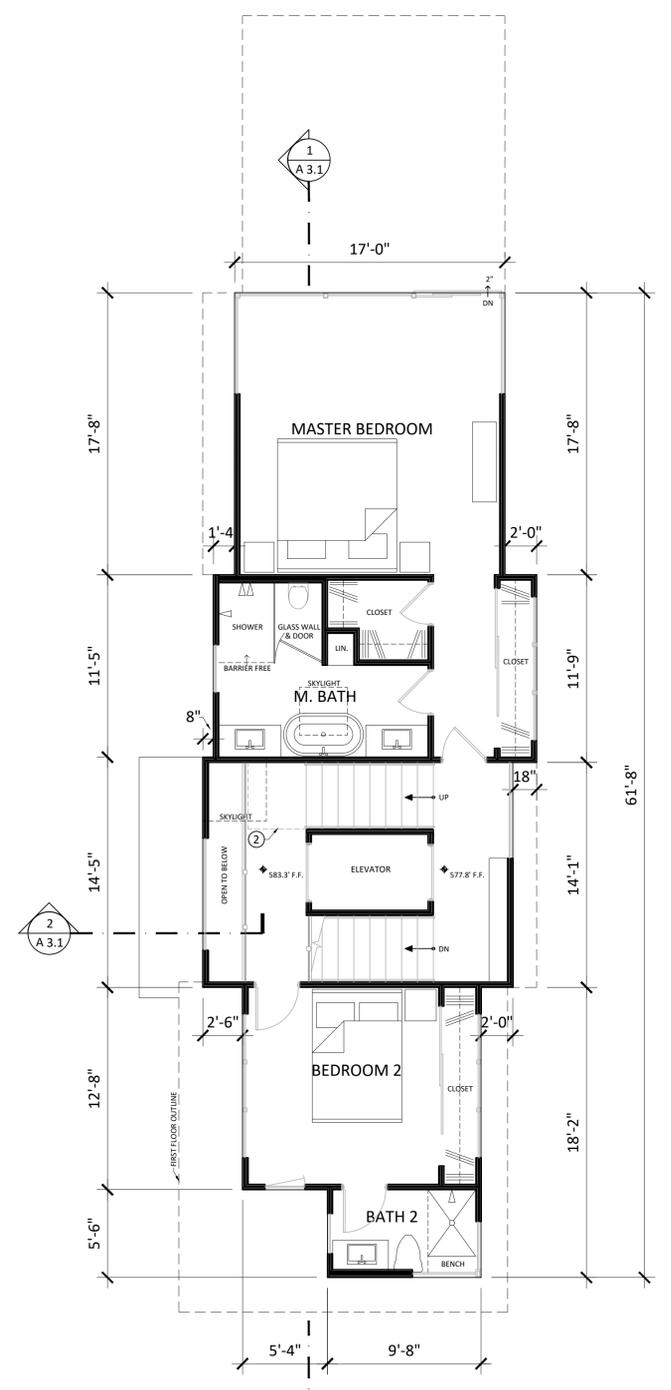
- Reference Marks**
- View Direction
 - Elevation Number
 - Detail Number
 - Section Number
 - Section Cut Line
 - Sheet Number
 - Section Mark

General notes

- I. PROVIDE UNOBSTRUCTED 18" X 24" MIN. ACCESS TO ALL UNDER FLOOR SPACES (CRC R408.4).
- II. PROVIDE 22" X 30" MIN. ACCESS TO ALL ATTIC SPACES WITH 30" CLEAR HEIGHT OR MORE (CRC R207.1).
- III. PROVIDE 22" X 30" CRAWL SPACE ACCESS WITHIN 20" OF ALL PLUMBING CLEANOUTS.
- IV. THE WATER CLOSET STOOL SHALL BE LOCATED IN A CLEAR SPACE NOT LESS THAN 30" IN WIDTH. THE CLEAR SPACE IN FRONT OF THE WATER CLOSET STOOL SHALL NOT BE LESS THAN 24" (CRC 407.5).
- V. 1/2" DRYWALL IS REQUIRED BETWEEN DWELLING WALL AND A GARAGE. GARAGE CEILING TO BE 5/8" IF HABITABLE OR SLEEPING ROOMS ARE ABOVE (CRC R302.5 & R302.6). DOORS FROM GARAGE TO LIVING AREA TO BE SELF-CLOSING, SELF-LATCHING, AND EITHER 1-3/8" THICK (SOLID CORE) OR HAVE A FIRE RATING OF NOT LESS THAN 20 MINUTES (CRC SECTION 302.5.1).
- VI. ALL WINDOWS AND EXTERIOR DOORS SHALL BE WEATHER-STRIPPED.
- VII. NATURAL VENTILATION IS NOT REQUIRED IF MECHANICAL VENTILATION IS INSTALLED (0.35 AIR CHANGE PER HOUR IN THE ROOM). NATURAL LIGHT IS NOT REQUIRED WHEN MECHANICAL VENTILATION IS INSTALLED PER THE ABOVE AND ARTIFICIAL ILLUMINATION IS PROVIDED CAPABLE OF PRODUCING 60 FOOT-CANDELES 30" ABOVE THE FLOOR. (CRC SEC R303.1)
- VIII. VERIFY WINDOWS MEET EGRESS REQUIREMENTS (CRC R301.1). AT LEAST ONE ESCAPE ROUTE FROM SLEEPING ROOM, 20" CLEAR WIDTH, 24" CLEAR HEIGHT, AND MIN. 5.7 SQ. FT. CLEAR OPENING. BOTTOM OF CLEAR OPENING NOT MORE THAN 44" ABOVE THE FLOOR.
- IX. ALL GLASS AND GLAZING SHALL COMPLY WITH THE U.S. SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS AND WITH FEDERAL SPECIFICATIONS (CRC SECTION R208).
- X. GLAZING IN ANY DOOR, OR GLAZING WITHIN 24" OF ANY DOOR AND WITHIN 18" OF FLOORS OR 60" OF TUB OR SHOWER DRAIN TO BE TEMPERED GLASS. CRC 308.4.
- XI. GLASS SHOWER AND TUB ENCLOSURES AND WINDOWS OVER SHOWERS AND TUBS TO BE SAFETY GLASS (CRC 308.4.5).
- XII. SLOPED GLAZING AND SKYLIGHTS SHALL BE DESIGNED TO WITHSTAND THE TRIBUTARY LOADS AS SPECIFIED IN CRC R308.6.1.
- XIII. CONSTRUCTION OF SKYLIGHT GLAZING SYSTEM TO MEET REQUIREMENTS OF CRC 308.6.2.
- XIV. RISERS ON STAIRWAYS SHALL NOT BE LESS THAN 4" NOR GREATER THAN 7.75". THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE RUN SHALL NOT BE LESS THAN 10". THE LARGEST RUN SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8" (CRC 311.7.4).
- XV. HEADROOM AT STAIRWAYS TO BE 6' 6" MIN. MEASURED VERTICALLY AT ALL POINTS FORMED BY A PLANE PARALLEL AND TANGENT TO ALL TREAD NOSINGS (CRC 311.7.2).
- XVI. ALL STAIRWAYS OF FOUR OR MORE RISERS SHALL HAVE A HANDRAIL. THE TOP OF HANDRAILS SHALL NOT BE PLACED LESS 34" NOR MORE THAN 38" ABOVE LANDINGS AND THE NOSINGS OF TREADS. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS. THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS SECTION. THE HANDGRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL (CRC R311.7.1, R311.7.2, R311.7.3).
- XVII. STAIRWAYS OPEN ON ONE OR BOTH SIDES SHALL HAVE GUARDRAILS 42" HIGH MIN. WITH INTERMEDIATE RAILS SPACED SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH (CRC R312.2 AND R312.3).
- XVIII. USABLE SPACE UNDER STAIRS TO BE 1 HOUR CONSTRUCTION 1/2" TYPE "X" GYPSUM BOARD AT ALL WALLS AND CEILINGS (CRC R302.7).
- XIX. EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT (CRC R201).
- XX. THE WIDTH OF SPIRAL STAIRWAYS SHALL BE IN ACCORDANCE WITH SECTION R311.7.3.1
- XXI. A GUARDRAIL, WHICH ALSO SERVES AS HANDRAIL, SHALL HAVE INTERMEDIATE RAILS SPACED SUCH THAT A SPHERE 4.375" IN DIAMETER CANNOT PASS THROUGH. CRC 312.1, 312.2, 312.3
- XXII. ALL EXTERIOR LIGHT SOURCES SHALL BE FULL CUT-OFF. FIXTURES SHALL BE SHIELDED SO AS NOT TO BE DIRECTLY VISIBLE FROM OFF SITE.

work notes

- 1 ALL LIGHT SOURCES AT EXTERIOR SHALL BE SHIELDED SO AS NOT TO BE DIRECTLY VISIBLE FROM OFF SITE & MAX. WATTAGE FOR LED TO BE LESS THAN 5 WATTS TYP. SEE SPECS ON SHEET A4.1
- 2 GLASS FLOOR



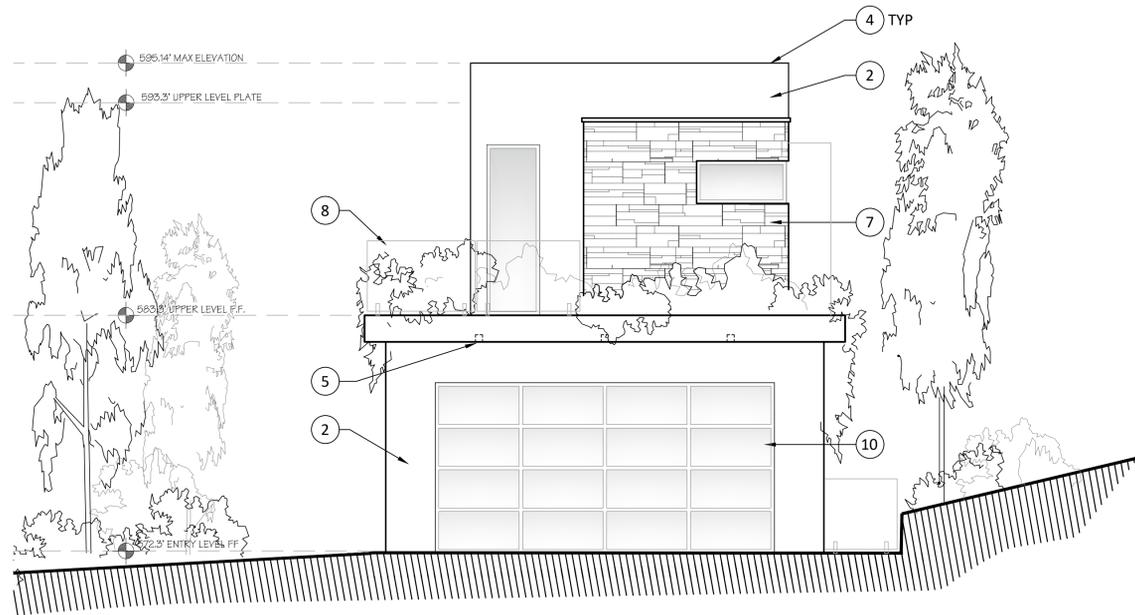
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11/15/2018
REV 1 - 07/09/2019
REV 2 - 09/02/2019
REV 3 - 12/06/2019
REV 4 - 6/30/2020

A1.1



2 WEST ELEVATION (FRONT)



2 WEST ELEVATION AT STREET GRADE (FRONT)

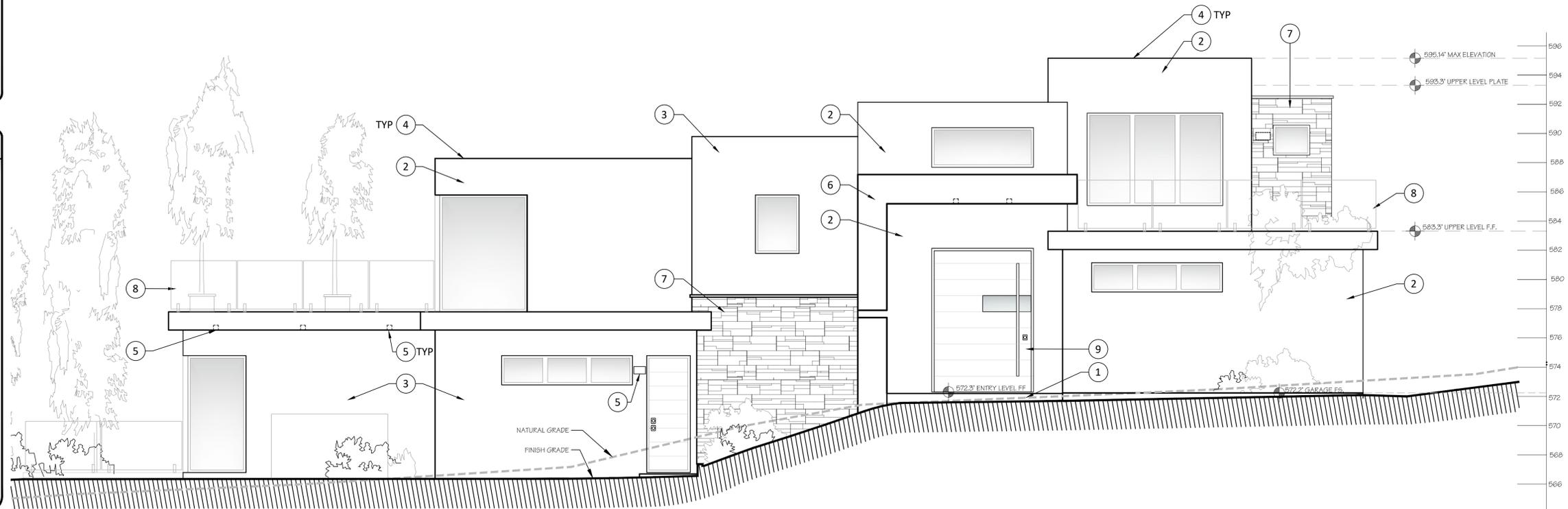


General Notes

1. FINISH GRADE SHALL SLOPE AWAY FROM FOUNDATIONS AT A 5% MIN. SLOPE FOR A MIN. OF 10' 0" AT SOIL AND A MIN. OF 3' 0" AT CONCRETE.
2. GRADE SHOWN AT 10' SETBACK LINE AT SOUTH ELEVATION

Work Notes

1. LANDINGS SHALL BE MIN. 36" IN DIRECTION OF TRAVEL, WIDTH NOT LESS THAN THE DOOR SERVED. LANDING ELEVATION TO BE 1 1/2" MAX BELOW TOP OF THRESHOLD FOR OUTSLING DOORS AND 7 3/4" MAX FOR INSULING AND SLIDING DOORS. MAX SLOPE AT LANDING = 1/4" PER FOOT (2%) - CRC SECTION R311.3
2. CEMENT PLASTER, STEEL TROUJEL SMOOTH FINISH COLOR: STO-GARYLANNEL (LRV50)
3. STUCCO FINISH-STEEL TROUJEL SMOOTH FINISH HW 5817-3 PEBBLE BEACH (LRV24)
4. ROOF: PVC 80 MIL GREY LRV 38
5. ALL LIGHT SOURCES AT EXTERIOR SHALL BE FULL CUT-OFF. FIXTURES SHALL BE SHIELDED SO AS NOT TO BE DIRECTLY VISIBLE FROM OFF SITE. TYP. SEE SPECS ON SHEET P4.1
6. CORTEN STEEL
7. STONE-EL DORRADO ALDERWOOD STACKED STONE
8. 42" TALL 12MM CLEAR TEMP GLASS GUARDRAIL
9. FRONT DOOR: STAINED HICKORY WOOD
10. GARAGE DOOR-NORTHEAST MODERN CLASSIC MC34-DC, CLEAR ANODIZED FRAME,SATIN, ETCH GLAZING



1 SOUTH ELEVATION (LEFT SIDE)



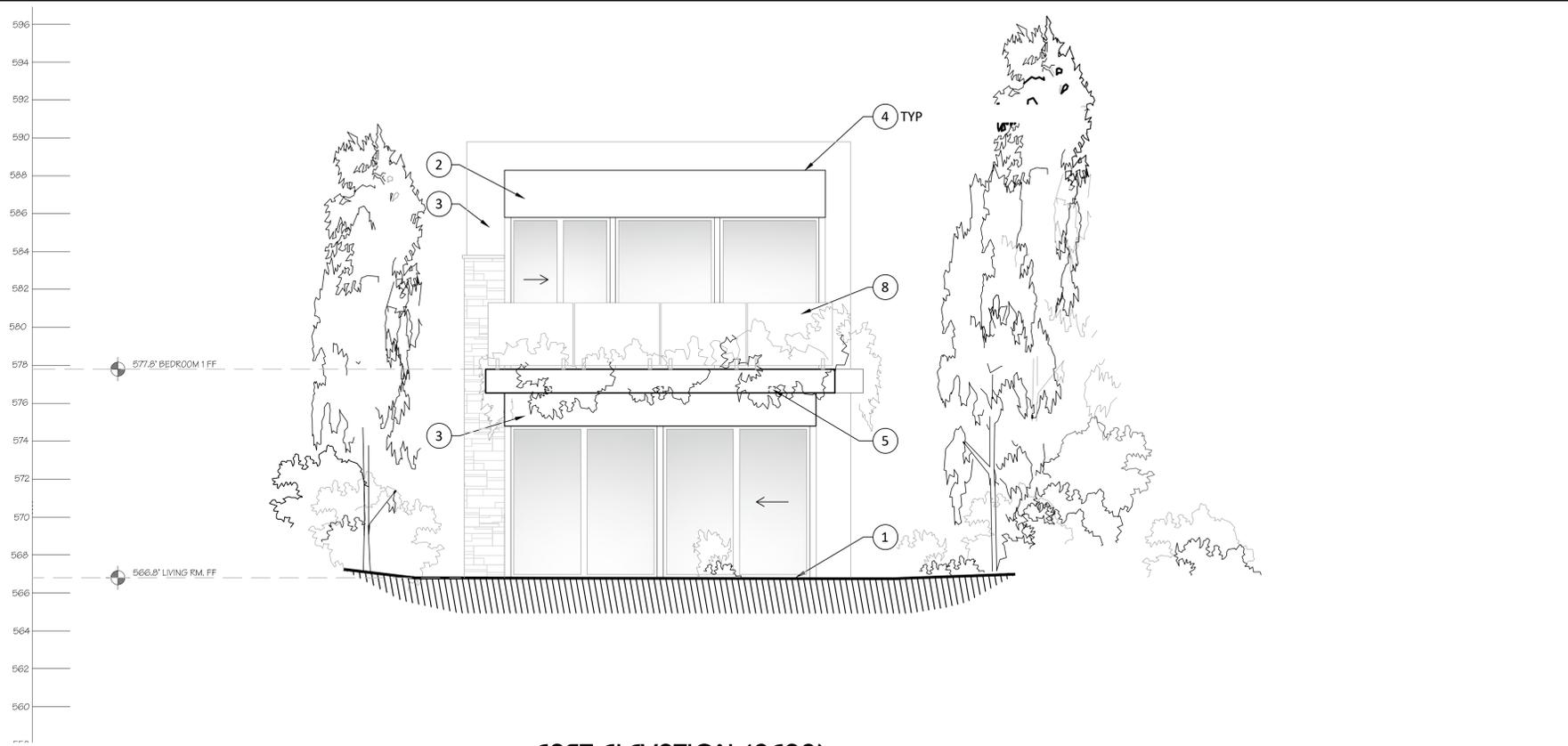
EXTERIOR ELEVATIONS

General Notes

1. FINISH GRADE SHALL SLOPE AWAY FROM FOUNDATIONS AT A 5% MIN. SLOPE FOR A MIN. OF 10' 0" AT SOIL AND A MIN. OF 3' 0" AT CONCRETE.
2. GRADE SHOWN AT 10' SETBACK LINE AT SOUTH ELEVATION

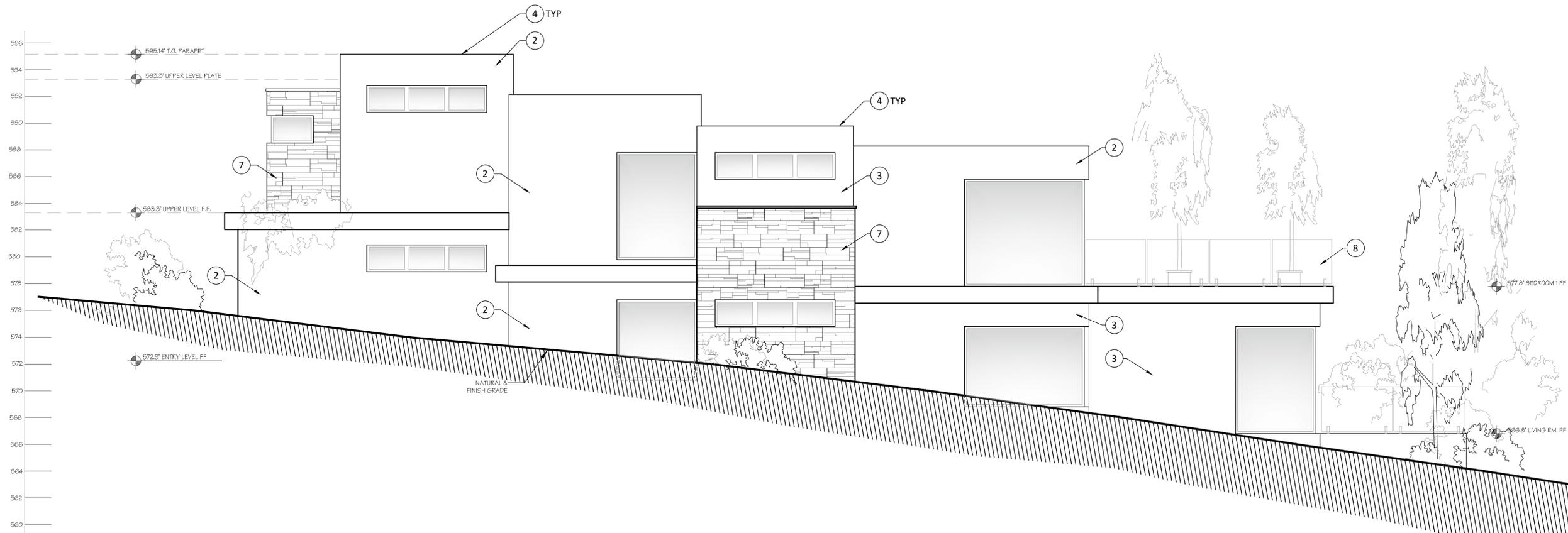
Work Notes

1. LANDINGS SHALL BE MIN. 36" IN DIRECTION OF TRAVEL, WIDTH NOT LESS THAN THE DOOR SERVED. LANDING ELEVATION TO BE 1 1/2" MAX BELOW TOP OF THRESHOLD FOR OUTSLING DOORS AND 7 3/4" MAX FOR INSULING AND SLIDING DOORS. MAX SLOPE AT LANDING = 1/4" PER FOOT (2%) CRC SECTION R311.3
2. CEMENT PLASTER, STEEL TROWEL SMOOTH FINISH COLOR: STO-GARVAFUNNEL (LW50)
3. STUCCO FINISH-STEEL TROWEL SMOOTH FINISH HW 5817-3 PEBBLE BEACH (LW24)
4. ROOF - PVC 80 MIL GRAY LRV 38
5. ALL LIGHT SOURCES AT EXTERIOR SHALL BE FULL CUT-OFF. FIXTURES SHALL BE SHIELDED SO AS NOT TO BE DIRECTLY VISIBLE FROM OFF SITE. TYP SEE SPECS ON SHEET RA.1
6. CORTEN STEEL
7. STONE: EL DORADO ALDERWOOD STACKED STONE
8. 42" TALL 12MM CLEAR TEMP GLASS GUARDRAIL
9. FRONT DOOR: STAINED HICKORY WOOD
10. GARAGE DOOR: NORTHWEST MODERN CLASSIC MC34-DC, CLEAR ANODIZED FRAME, SATIN, ETCH GLAZING



4 EAST ELEVATION (REAR)

SCALE: 0' 1' 2' 4' 8'



3 SOUTH ELEVATION (RIGHT SIDE)

SCALE: 0' 1' 2' 4' 8'

EXTERIOR ELEVATIONS



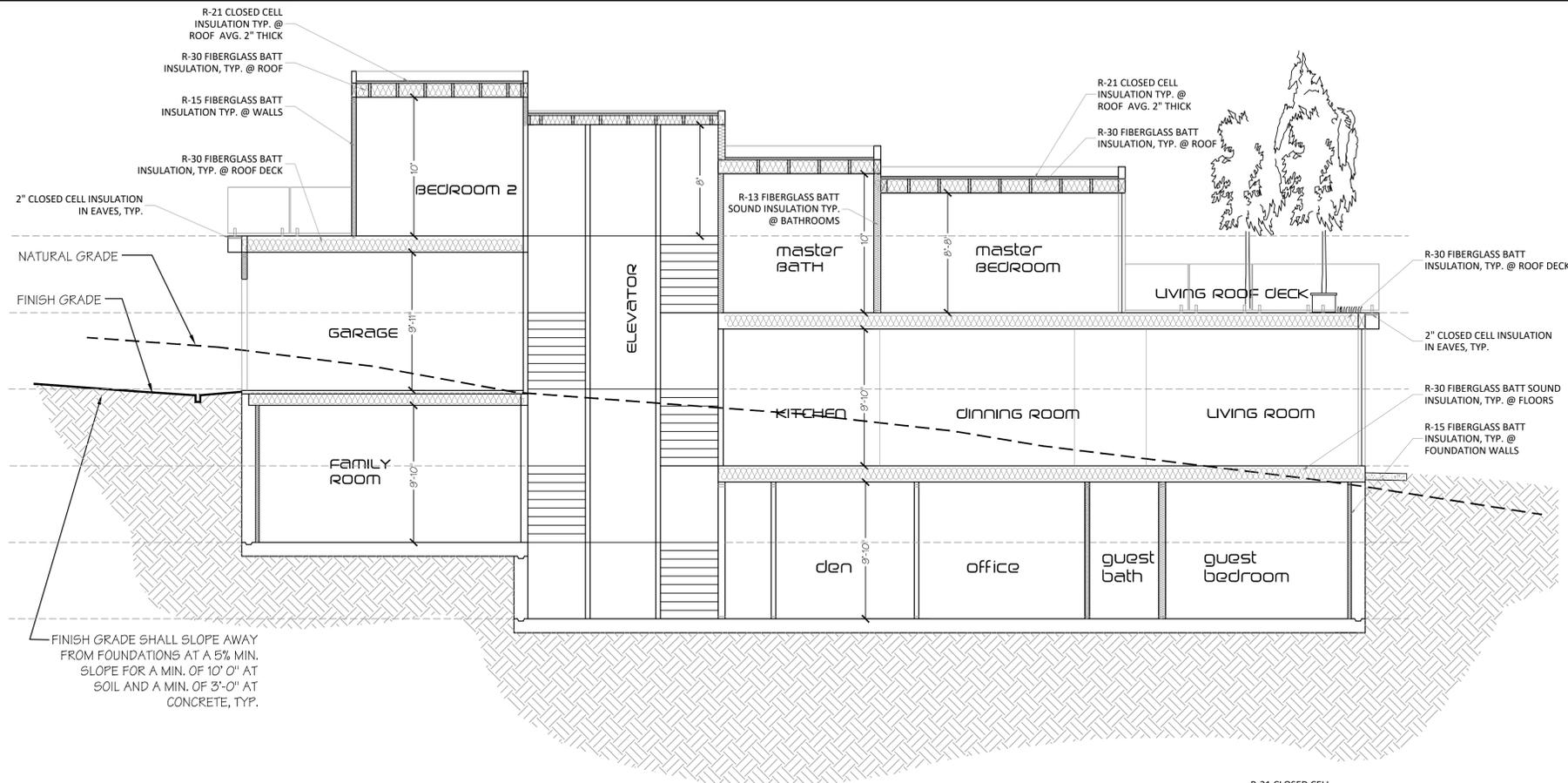
785 CASTRO STREET
SUITE A
MOUNTAIN VIEW,
CALIFORNIA 94041
p: 650.324.0688
f: 650.227.2330

THIS DRAWING EMPLOYS IDEAS, ARRANGEMENTS, PLANS, AND SPECIFICATIONS WHICH ARE PROPRIETARY TO INHABITURE DESIGN. THEY WERE DESIGNED, CREATED, EVOLVED, AND DEVELOPED FOR USE SOLELY IN CONNECTION WITH THE SPECIFIED PROJECT. NO TRANSFER OF ANY RIGHTS, TITLE, OR INTEREST OR EFFECT OF THE DRAWINGS ARE TO BE INCURRED UNLESS THEY ARE REPRODUCED OR COPIED IN WHOLE OR IN PART, OR USED IN THE CONSTRUCTION OF BUILDINGS, STRUCTURES OR ANY PORTIONS THEREOF OTHER THAN THE SPECIFIED PROJECT.

NEW RESIDENCE
10728 MORA DRIVE (LOT-1)
LOS ALTOS HILLS, CA 94024

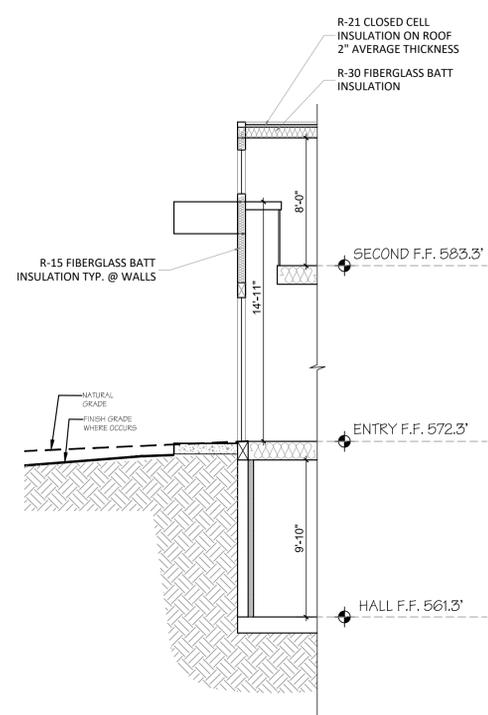
DATE
PLANNING SUBMITTAL
11/15/2018
REV 1 - 07/09/2019
REV 2 - 09/02/2019
REV 3 - 12/06/2019
REV 4 - 6/30/2020

A2.2



FINISH GRADE SHALL SLOPE AWAY FROM FOUNDATIONS AT A 5% MIN. SLOPE FOR A MIN. OF 10' 0" AT SOIL AND A MIN. OF 3'-0" AT CONCRETE, TYP.

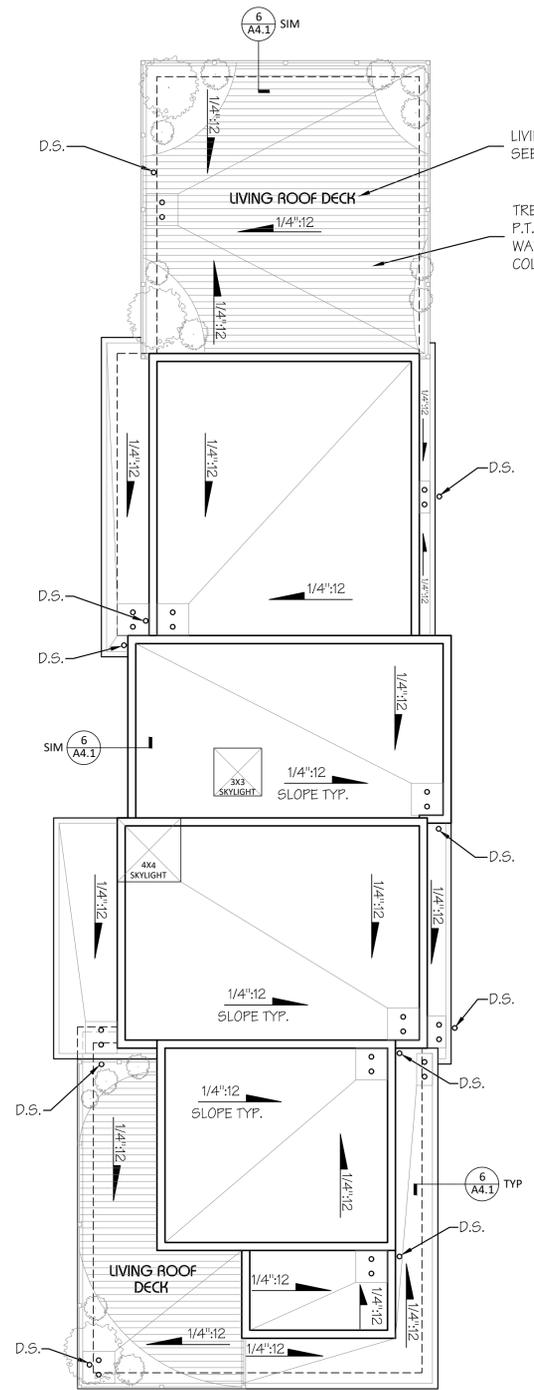
1 BUILDING SECTION
SCALE: 0' 1" 2" 4" 8"



2 BUILDING SECTION
SCALE: 0' 1" 2" 4" 8"

General Notes

1. FINISH GRADE SHALL SLOPE AWAY FROM FOUNDATIONS AT A 5% MIN. SLOPE FOR A MIN. OF 10' 0" AT SOIL AND A MIN. OF 3'-0" AT CONCRETE.
2. PROVIDE WEATHER RESISTIVE BARRIERS AS REQUIRES IN UBC 1402.1 AND, WHEN APPLIED OVER WOOD BASE SHEATHING, PROVIDE 2 LAYERS OF GRADE 'D' PAPER (CBC 2506.4).



3 ROOF PLAN
SCALE: 0' 1" 2" 4" 8"

BUILDING SECTIONS AND ROOF PLAN

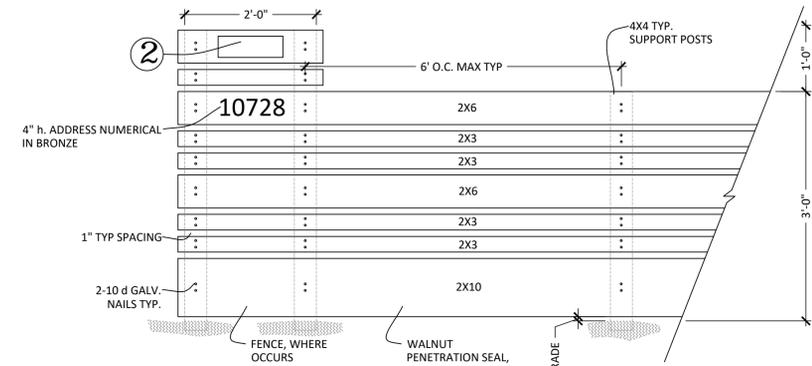
inhabiture

785 CASTRO STREET
SUITE A
MOUNTAIN VIEW,
CALIFORNIA 94041
p: 650.324.0688
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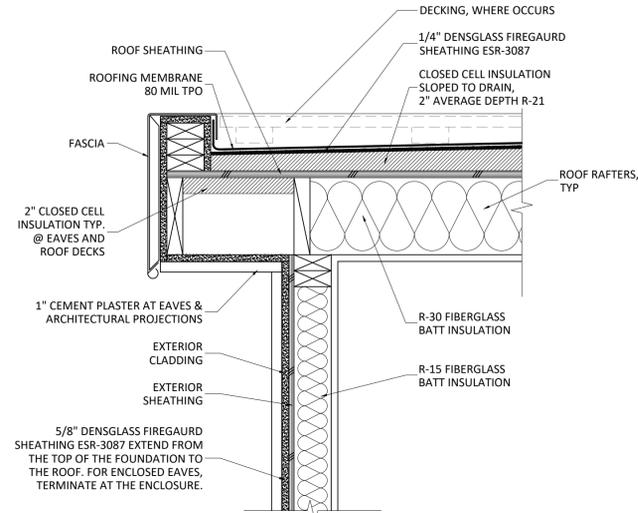
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NEW RESIDENCE
10728 MORA DRIVE (LOT-1)
LOS ALTOS HILLS, CA 94024

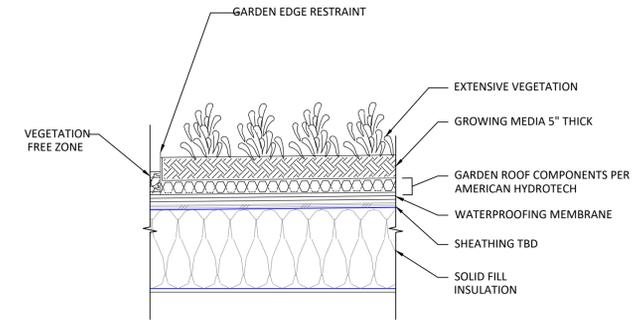
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1 POST & FENCE DETAIL, TYP.
NTS



6 ROOF EAVE & EXTERIOR FINISH DETAIL
WILDFIRE URBAN INTERFACE ZONE
SCALE: 1 1/2"-1'-0"



2 LIVING ROOF DETAIL
1 1/2' 1' 00"
NOTE: VEGETATED SURFACE SHALL NOT BE COMPOSED OF DURABLE SURFACES OF DECKING

V8423-79 Catalog #: V8423-79
Type: Project
Prepared By:

OLUME LIGHTING
Because Lighting Speaks Volumes

Description
This integrated LED indoor or outdoor 4" or 3" antique bronze aluminum recessed retrofit downlight features a sealed white frosted acrylic lens cover and square flanged trim. Housing and trim features all aluminum construction. Feet at ease with cast aluminum's corrosion resistance, high resilience, lasting quality, and inability to rust like steel. Go green and save big. Energy-efficient LED is environmentally friendly and requires substantially less electricity to maintain, passing down cost-cutting savings to you. Compatible with non-type IC (insulation must be kept 3" away) or type IC (suitable for direct contact with insulation) 4" or 3" recessed downlights. Features cold temperature startup in weather as low as 20°C. Operates up to 80°C. Perfect complement to indoor or outdoor spaces. Enjoy rain or shine—conveniently suitable for wet locations. Compact light fits easily in small spaces. Feel confident in your choice of classic elegance. Delight in traditional design that complements homeside surroundings and color beautifully finished in a sophisticated antique bronze. Feel confident in a quality product. Integrated LED comes with a 5-year limited warranty.

Other Material	Sealed White Frosted Acrylic Lens Cover and Antique Bronze Square Flanged Trim
Light Direction	Downward
Installation/Mounting Position	Down
Installation Location	Wet
Light H	1
Watts per Light (W)	10
Total Wattage (W)	10
Light Source Included?	Yes (Integrated LED)
Light Bulbs Included?	N/A (Integrated LED Light Source Included)
Color	90
Color Temperature (K)	3000
Lumens per Light	600
Total Lumens	600
Power Factor (PF)	0.95
Life Rated (Hours)	50000
Dimmable?	Yes (0% of Output)
Base	N/A (Integrated LED)
Input Voltage (Volts)	120V at 50/60 Hz
Operating Temperature (C)	-20 to 80

5 RECESSED SOFFIT LIGHT FIXTURE, TYP

Hinkley 1646BZ-LED
Atlantis LED 6 inch Bronze Outdoor Wall Mount

- Width: 9.00 in.
- Height: 6.00 in.
- Finish: Bronze
- Glass: Etched Lens
- Material: Extruded Aluminum
- Dark-Sky Approved
- Title 24 Approved

4 SURFACE MOUNTED LIGHT FIXTURE B, TYP.

JUNO PERFORMANCE STEP LIGHT
838LED-13-3K-BZ
COLOR: BRONZE

3 RECESSED WALL LIGHT, TYP.

DETAILS

DATE
PLANNING SUBMITTAL
11/15/2018
REV 1 - 07/09/2019
REV 2 - 09/02/2019
REV 3 - 12/06/2019
REV 4 - 6/30/2020