

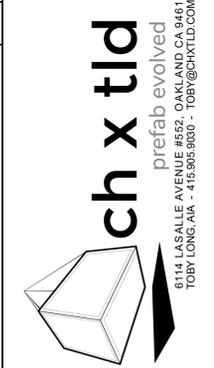
# THE STEMM HSIA RESIDENCE

26685 PURISSIMA ROAD LOS ALTOS HILLS, CA 94022



ISSUE	DATE
FA PLANS v1	082819
FA PLANS v2	091119
FA DRAWINGS	092619
PLAN UPDATES	112019
50% DESIGN SET	013020
100% DESIGN SET progress	022520
PLANNING SUBMITTAL	041320
100% DESIGN SET	042120
PLANNING REV1	063020

ARCHITECT



MODULAR FABRICATOR

APPROVAL STAMP

THE STEMM HSIA RESIDENCE  
26685 PURISSIMA ROAD  
LOS ALTOS HILLS, CA  
94022  
APN: 175-45-055

COVER

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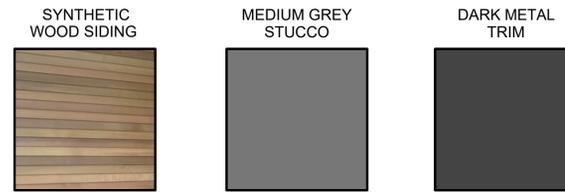
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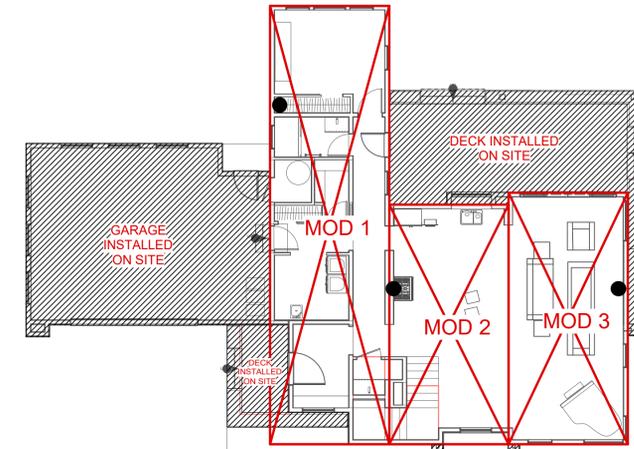
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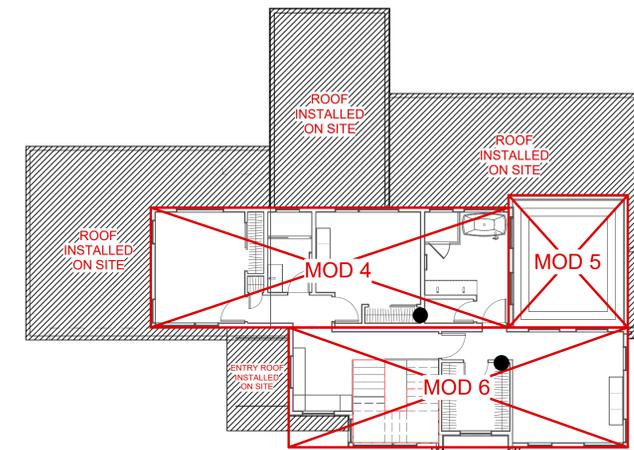
1 RENDERING / MATERIALS



3 MATERIALS



FIRST FLOOR PLAN - MODULAR / SITE SCOPE



SECOND FLOOR PLAN - MODULAR / SITE SCOPE

● DENOTES LOCATION OF STATE INSIGNIA IN EACH MODULE.  
AVAILABLE FOR INSPECTIONS ON SITE AND DURING TRANSPORT.  
INSIGNIAS TO REMAIN AFTER CONSTRUCTION.

**NOTE: CAL GREEN REQUIRED VOC CONTENT TO BE PROVIDED IN FACTORY**

**SCOPE OF SITE CONSTRUCTION:**

THE ON SITE CONSTRUCTION RELATING TO THE FACTORY BUILT MODULES WILL CONSIST OF THE FOLLOWING ACTIVITIES:

- EXCAVATION AND PREPARATION OF BUILDING PAD.
- INSTALLATION OF CONCRETE FOOTING AND FOUNDATION SYSTEM.
- INSTALLATION OF TREATED 2x6 DOUBLE SILL PLATE.
- INSTALLATION OF MODULES ON FOUNDATION.
- CONNECT STRUCTURAL HOLD-DOWNS, STRUCTURAL SHEATHING PER ENGINEERING DOCUMENTS.
- INSTALLATION OF ATTACHED GARAGE.
- INSTALLATION OF FRONT ENTRY PATIO.
- INSTALLATION OF ROOF, ROOF EAVES, ROOF SHEATHING, MOISTURE BARRIER, ROOF MEMBRANE.
- CONNECT HEATING EQUIPMENT.
- CONNECT WATER SUPPLY TO MODULE.
- CONNECT GAS SUPPLY TO MODULE GAS LINE.
- INSTALLATION OF SIDE AND REAR PATIOS.
- INSTALLATION WEATHER PROTECTIVE BARRIER, SIDING OVER BOTTOM 8" OF MODULE TO FOUNDATION.
- INSTALLATION WEATHER PROTECTIVE BARRIER AT HORIZONTAL AND VERTICAL MATE-LINES.
- INSTALLATION OF BI-FOLD AND OTHER LARGE EXTERIOR DOORS.
- FINAL EXHAUST CONNECTIONS FOR ALL MECHANICAL EQUIPMENT.
- STRUCTURAL CONNECTIONS BETWEEN FACTORY BUILT MODULES (BOTH HORIZONTALLY AND VERTICALLY).
- ELECTRICAL WIRING CONNECTIONS BETWEEN FACTORY BUILT MODULES (BOTH HORIZONTALLY AND VERTICALLY).
- PLUMBING PIPING (WATER, DRAIN, VENT, GAS) CONNECTIONS BETWEEN FACTORY BUILT MODULES (BOTH HORIZONTALLY AND VERTICALLY).
- MECHANICAL DUCTS CONNECTIONS BETWEEN FACTORY BUILT MODULES (BOTH HORIZONTALLY AND VERTICALLY).
- FIRE SPRINKLER PIPING CONNECTIONS BETWEEN FACTORY BUILT MODULES (BOTH HORIZONTALLY AND VERTICALLY).
- INSTALLATION OF TO BE COMPLETED ON-SITE.
- ALL OUTDOOR SPACES TO BE FIELD BUILT.
- PERGOLA AT SOUTH PATIO TO BE FIELD BUILT.
- FIREPLACE AND CHIMNEY AT LIVING ROOM TO BE FIELD BUILT.

NOTES: \*ALL APPLIANCES TO BE INSTALLED ON-SITE.  
\*ALL EXTERIOR FINISHES INSTALLED ON-SITE.  
\*THIS HOUSE IS AIR-CONDITIONED.

ALL FINAL MECHANICAL, ELECTRICAL, AND PLUMBING CONNECTIONS, AS WELL AS START-UP AND TESTING, WILL BE PERFORMED ON SITE. ALL CONNECTIONS WILL BE MADE THROUGH EXPOSED PORTIONS OF THE BUILDING, WHERE FINISHES AND FIXTURES WILL BE LEFT OPEN TO COMPLETE THE ASSEMBLIES.

ALL PLUMBING AND ELECTRICAL SYSTEMS WILL BE ASSEMBLED BETWEEN MODULES USING APPROVED CONNECTIONS AND CONNECTORS.

MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE SPRINKLER CONNECTIONS MADE BETWEEN MODULES. SEE ALL MEP AND FIRE PROTECTION PLANS IN STATE APPROVED DRAWINGS FOR ALL SYSTEMS AND DESIGNS.

STRUCTURAL CONNECTIONS MADE BETWEEN MODULES. SEE STRUCTURAL DRAWINGS FOR CONNECTIONS.

ALL DECKS AND SITE STAIRS INSTALLED ON SITE. SEE STRUCTURAL DRAWINGS FOR ALL CONNECTIONS.

ALL EAVES ATTACHED ON SITE.  
ALL ROOFING, GUTTERS & DOWNSPOUTS INSTALLED ON SITE. ROOF MEMBRANE PATCHED AND EXTENDED TO EAVES ON SITE. SEE STRUCTURAL DRAWINGS FOR ALL EAVE CONNECTIONS & DETAILS. SEE STRUCTURAL DRAWINGS FOR ALL DETAILS RELATED TO FOUNDATION.

ALL FOUNDATION WORK AND SILL PLATES INSTALLED ON SITE. SEE A6 X SERIES AND STRUCTURAL DRAWINGS FOR ALL DETAILS RELATED TO FOUNDATION.



2 MODULAR / LOCAL INSPECTION DETAILS (to be completed)

3 MODULES OVERVIEW

SCALE: 3/32" = 1'-0"

# THE STEM H S I A RESIDENCE

## 26685 PURISSIMA ROAD LOS ALTOS HILLS, CA 94022



### WILDLAND URBAN INTERFACE CRC R337 COMPLIANCE

**ROOFING:**  
CLASS 'A' SINGLE PLY MEMBRANE

**UNDER FLOOR PROTECTION, UNDERSIDE OF APPENDAGES, EXTERIOR PORCH CEILINGS, EXTERIOR COVERINGS, FLOOR PROJECTIONS:**  
2x WUI COMPLIANT FIR

**EXTERIOR WINDOWS AND DOORS:**  
CONSTRUCTED OF MULTI-PANE GLAZING WITH MINIMUM OF ONE TEMPERED PANE MEETING THE REQ'S OF CRC R337

SOLID CORE WOOD DOORS, STILES AND RAILS NOT LESS THAN 1 3/8" THICK

**VENTS:**  
OSFM CBC CH7A COMPLIANCE #09-03  
3.5" VULCAN SOFFIT VENT

WUI CRAWLSPACE VENT SCREEN:  
GALVANIZED METAL, 1/8" MAX OPENINGS

### CAL GREEN COMPLIANCE

**A) WATER CLOSETS.** THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE US EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS.

**B) SINGLE SHOWERHEAD.** SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE US EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS.

**C) MULTIPLE SHOWERHEADS SERVING ONE SHOWER.** WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 7.8 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. NOTE: A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.

**D) RESIDENTIAL LAVATORY FAUCETS.** THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 80 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.

**E) A4.303.1 KITCHEN FAUCETS.** KITCHEN FAUCETS SHALL HAVE A MAXIMUM FLOW RATE NOT GREATER THAN 1.5 GALLONS PER MINUTE AT 80 PSI. (MAY TEMPORARILY INCREASE TO 2.2 GPM).

**F) STANDARDS FOR PLUMBING FIXTURES AND FITTINGS.** PLUMBING FIXTURES AND FITTINGS REQUIRED IN SECTION 4.303.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE REFERENCED STANDARDS.

**G) IRRIGATION CONTROLLERS.** AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOIL MOISTURE-BASED.

**H) OPERATION AND MAINTENANCE MANUAL.** AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH INCLUDES ALL OF THE FOLLOWING SHALL BE PLACED IN THE BUILDING:

- DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
- OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING:
  - EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT.
  - ROOT AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPOUTS.
  - SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS.
  - LANDSCAPE IRRIGATION SYSTEMS.
  - WATER REUSE SYSTEMS.

III) INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.

IV) PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.

V) EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT & WHAT METHODS OCCUPANT MAY USE TO MAINTAIN RELATIVE HUMIDITY LEVEL IN THAT RANGE.

VI) INFO ABOUT WATER-CONSERVING IRRIGATION DESIGN & CONTROLLERS WHICH CONSERVE WATER.

VII) INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION.

VIII) INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO, CALCULATING, PAINTING, GRADING AROUND THE BUILDING, ETC.

IX) INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.

X) COPY OF ALL SPECIAL INSPECTION VERIFICATIONS REQUIRED BY ENFORCING AGENCY OF THIS CODE.

**I) INSTALLER TRAINING.** HVAC INSTALLERS TRAINED & CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.

**J) SPECIAL INSPECTION.** SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.

**K) DOCUMENTATION.** VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL COMPLIANCE.

**L) A4.103.1 SITE SELECTION.** SITE WHICH COMPLIES WITH AT LEAST ONE OF THE FOLLOWING CHARACTERISTICS: AN INFILL SITE IS SELECTED.

21061.3: INFILL SITE MEANS A SITE IN AN URBANIZED AREA THAT MEETS EITHER OF THE FOLLOWING CRITERIA:

- THE SITE HAS NOT BEEN PREVIOUSLY DEVELOPED FOR URBAN USES.
- THE SITE HAS BEEN PREVIOUSLY DEVELOPED FOR QUALIFIED URBAN USES.

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) DEFINES "QUALIFIED URBAN USE" AS "ANY RESIDENTIAL, COMMERCIAL, PUBLIC INSTITUTIONAL, TRANSIT OR TRANSPORTATION PASSENGER FACILITY, OR RETAIL USE, OR ANY COMBINATION OF THOSE USES."

**M) A4.106.2.3 TOPSOIL PROTECTION.** DISPLACED TOPSOIL IS STOCKPILED FOR REUSE IN DESIGNATED AREA AND COVERED OR PROTECTED FROM EROSION.

**N) A4.106.3 LANDSCAPE DESIGN.** POST CONSTRUCTION LANDSCAPE DESIGNS ACCOMPLISH ONE OR MORE OF THE FOLLOWING:

- AREAS DISRUPTED DURING CONSTRUCTION RESTORED TO BE CONSISTENT WITH NATIVE VEGETATION
- LIMIT TURF AREAS TO NOT MORE THAN 50 PERCENT (TIER 1).
- UTILIZE AT LEAST 75 PERCENT NATIVE CALIFORNIAN OR DROUGHT TOLERANT PLANT AND TREE SPECIES APPROPRIATE FOR THE CLIMATE ZONE REGION.
- HYDROZONING IRRIGATION TECHNIQUES ARE INCORPORATED INTO THE LANDSCAPE DESIGN.

**O) A4.106.4 WATER PERMEABLE SURFACES.** PERMEABLE PAVING IS UTILIZED FOR NOT LESS THAN 20 PERCENT OF THE TOTAL PARKING, WALKING, OR PATIO SURFACES. EXCEPTION: PRIMARY DRIVEWAY, ENTRY WALKWAY AND PORCH/LANDING OR REQUIRED ACCESSIBLE ROUTES FOR PERSONS WITH DISABILITIES.

**P) A4.106.5 COOL ROOF.** ROOFING MATERIALS SHALL HAVE A MINIMUM 3-YEAR AGED SOLAR REFLECTANCE AND THERMAL EMITTANCE OR A MINIMUM SOLAR REFLECTANCE INDEX (SRI) AS SPECIFIED BELOW.

TIER	CLIMATE ZONE	MINIMUM 3-YR AGED SOLAR REFLECTANCE	THERMAL EMITTANCE	SRI
TIER 1 - LOW-RISE RESIDENTIAL	13-15	0.63	0.75	75
	10-15	0.20	0.75	16

**Q) A4.106.8.1 TIER 1.** FOR ONE- AND TWO-FAMILY DWELLINGS & TOWNHOUSES WITH ATTACHED PRIVATE GARAGES, INSTALL A DEDICATED 208/240 VOLT BRANCH CIRCUIT, INCLUDING AN OVERCURRENT PROTECTIVE DEVICE RATED AT 40 AMPERES MINIMUM PER DWELLING UNIT.

**R) A4.303.3 APPLIANCES.** DISHWASHERS & CLOTHES WASHERS IN RESIDENTIAL BUILDINGS SHALL COMPLY WITH THE FOLLOWING: INSTALL AT LEAST ONE QUALIFIED ENERGY STAR APPLIANCE WITH MAXIMUM WATER USE AS FOLLOWS:

- STANDARD DISHWASHERS - 4.25 GALLONS PER CYCLE
- COMPACT DISHWASHERS - 3.5 GALLONS PER CYCLE
- CLOTHES WASHERS - WATER FACTOR OF 6 GALLONS PER CUBIC FEET OF DRUM CAPACITY.

**S) A4.304.1 WATER BUDGET.** A WATER BUDGET SHALL BE DEVELOPED FOR LANDSCAPE IRRIGATION PER SANTA ROSA CITY CODE CHAPTER 14-30. REDUCE THE USE OF POTABLE WATER TO A QUANTITY THAT DOES NOT EXCEED 0.56 OF ETO TIMES THE LANDSCAPE AREA. (SUPPORT DOCUMENTATION REQUIRED AT APPLICATION SUBMITTAL.) NOTE: SEE SANTA ROSA WATER EFFICIENT LANDSCAPE ORDINANCE

**T) A4.403.2 REDUCTION IN CEMENT USE.** CEMENT USE IN FOUNDATION MIX REDUCED BY NOT LESS THAN 20 PERCENT.

**U) A4.405.3.1 RECYCLED CONTENT.** USE MATERIALS, EQUIVALENT IN PERFORMANCE TO VIRGIN MATERIALS, WITH TOTAL COMBINED RECYCLED CONTENT VALUE, FOR NOT LESS THAN 10% OF TOTAL MATERIAL COST OF PROJECT.

**V) A4.406.1 RODENT PROOFING.** ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS W/ CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO ENFORCING AGENCY.

**W) A4.407.3 FLASHING DETAILS.** PROVIDE FLASHING DETAILS ON THE BUILDING PLANS AND COMPLY WITH ACCEPTED INDUSTRY STANDARDS OR MANUFACTURERS INSTRUCTIONS.

**X) A4.407.4 MATERIAL PROTECTION.** PROTECT BUILDING MATERIALS DELIVERED TO THE CONSTRUCTION SITE FROM RAIN AND OTHER SOURCES OF MOISTURE.

**Y) A4.408.1 ENHANCED CONSTRUCTION WASTE REDUCTION.** AT LEAST 65% OF NONHAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE.

**Z) A4.408.1.1 DOCUMENTATION.** DOCUMENTATION SHALL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH THIS SECTION. DOCUMENTATION SHALL BE COMPLIANCE WITH SECTION 4.408.5.

**AA) A4.503.1 FIREPLACES.** INSTALL ONLY A DIRECT-VENT OR SEALED-COMBUSTION GAS FIREPLACE WOOD-Pellet STOVE SHALL COMPLY WITH EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) OR LOCAL ORDINANCES.

**BB) A4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION.** AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE SITE AND LIMIT FINISH UP OF EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEETMETAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM.

**CC) A4.504.2 FINISH MATERIAL POLLUTANT CONTROL.** FINISH MATERIALS SHALL COMPLY WITH THIS SECTION:

**4.504.2.1 ADHESIVES, SEALANTS AND CAULKS.** SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS IN CALGREEN TABLE 4.504.1 OR 4.504.2 AS APPLICABLE.

**4.504.2.2 PAINTS, STAINS AND OTHER COATINGS.** COMPLIANT W/ VOC LIMITS IN CALGREEN TABLE 4.504.3.

**A4.504.2 RESILIENT FLOORING SYSTEMS.** AT LEAST 90% OF THE RESILIENT FLOORING SYSTEMS INSTALLED IN THE BUILDING SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN AT LEAST ONE OF THE 4 LISTED CRITERIA IN SECTION 4.504.2.

**4.504.3 CARPET SYSTEMS, CARPET AND CARPET SYSTEMS.** SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE LISTED ITEMS, 1 - 4 IN SECTION 4.504.3.

**4.504.3.1 CARPET CUSHION** SHALL MEET REQ'S OF CARPET & RUG INSTITUTE'S GREEN LABEL PROGRAM.

**4.504.3.2 ALL CARPET ADHESIVE** SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1.

**DD) A4.504.3 THERMAL INSULATION.** INSTALL THERMAL INSULATION IN COMPLIANCE WITH THE VOC-EMISSION LIMITS DEFINED IN COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST.

NOTE: DOCUMENTATION MUST BE PROVIDED THAT VERIFIES THAT FINISH MATERIALS ARE CERTIFIED TO MEET THE POLLUTANT EMISSION LIMITS IN THIS SECTION.

**EE) A4.504.5 COMPOSITE WOOD PRODUCTS.** HARDWOOD PLYWOOD, PARTICLEBOARD & MEDIUM DENSITY FIBERBOARD (MDF) PRODUCTS USE ON THE INTERIOR OR EXTERIOR SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN THE AIA'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS SHOWN IN TABLE 4.504.5.

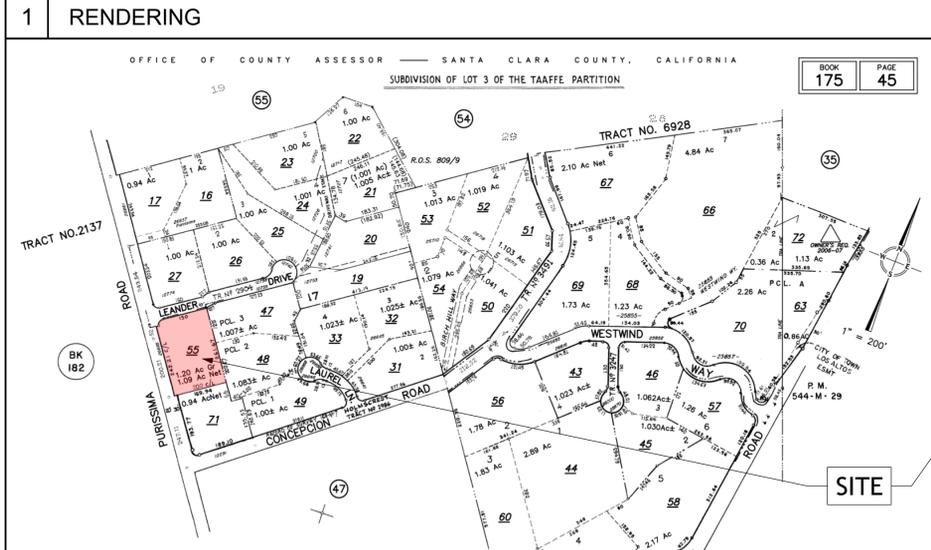
**4.504.5.1 DOCUMENTATION.** VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AS REQUESTED BY THE ENFORCING AGENCY.

**FF) A4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS.** BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT.

**GG) A4.506.1 FILTERS.** RETURN AIR FILTERS WITH A VALUE GREATER THAN MERV 6 SHALL BE INSTALLED ON HVAC SYSTEMS. PRESSURE DROP ACROSS THE FILTER SHALL NOT EXCEED 0.1 INCHES WATER COLUMN.

**HH) A4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN.** HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS: (SUPPORT DOCUMENTATION REQUIRED AT APPLICATION SUBMITTAL.)

- ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI/ACCA MANUAL J-2011, ASHRAE HANDBOOKS OR OTHER EQUIVALENT METHODS.
- SIZE DUCT SYSTEMS ACCORDING TO ANSI/ACCA 1 MANUAL D - 2014, ASHRAE HANDBOOKS OR EQUIVALENT.
- SELECT HEATING & COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S - 2014 OR EQUIVALENT.



### 3 VICINITY MAP / PARCEL MAP

ARCHITECTURAL	STRUCTURAL - CONTINUED	MECHANICAL	PLUMBING	FIRE PROTECTION
X A-0.0 COVER & MATERIALS				
X A-0.1 PROJECT INFO				
X A-0.2 GENERAL NOTES				
X A-0.3 GENERAL NOTES				
X A-0.5 MASSING DIAGRAMS				
X A-0.6 MODULAR DIAGRAMS				
X A-0.9 RENDERINGS				
X A-0.9a RENDERINGS				
X A-0.9b RENDERINGS				
X 1 OF 1 SURVEY				
X A-1.2 SITE PLAN				
X A-2.0 FOUNDATION PLAN				
X A-2.1 LEVEL 1 PLAN				
X A-2.2 LEVEL 2 PLAN				
X A-2.3 ROOF PLAN				
X A-2.4 LEVEL 1 RCP				
X A-2.5 LEVEL 2 RCP				
X A-3.0 BUILDING SECTIONS				
X A-3.1 BUILDING SECTIONS				
X A-4.0 EXTERIOR ELEVATIONS				
X A-4.1 EXTERIOR ELEVATIONS				
X A-5.1 INTERIOR ELEVATIONS				
X A-5.2 INTERIOR ELEVATIONS				
X A-6.0 DETAIL KEY / ASSEMBLY				
X A-6.1 DETAILS				
X A-6.2 DETAILS				
X A-7.0 DOOR SCHEDULE				
X A-7.1 WINDOW SCHEDULE				

### 6 PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF THE CONSTRUCTION OF:  
**A \*FIRE SPRINKLERED NEW SINGLE FAMILY HOME AND ATTACHED GARAGE**  
\*sprinkler plans to be submitted separately

These plans comply with the following current adopted editions of the California Residential and Building Code Series:  
 2019 CA BUILDING CODE    2019 CA MECHANICAL CODE    2019 RESIDENTIAL CODE  
 2019 CA ENERGY CODE    2019 CA PLUMBING CODE  
 2019 CA GREEN CODE    2019 CA ELECTRICAL CODE

\*Pursuant to Section 19981 (c) of the Health and Safety Code, no factory-built housing shall be in any way modified during installation unless approval for such modification is first obtained from the local enforcement agency"

### 7 CODE REFERENCE

W-##	WINDOW SCHEDULE REFERENCE	REVISION REFERENCE	FLR #	FLOOR / CEILING ASSEMBLY REFERENCE
D-##	DOOR SCHEDULE REFERENCE	ALIGN	ALIGN FINISH SURFACES	ELEVATION REFERENCE
#	WALL ASSEMBLY REFERENCE			Plan No.

### 4 CAL-GREEN BUILDING CODE COMPLIANCE

OWNER	MARK STEMM & JENNIFER HSIA 26685 PURISSIMA ROAD LOS ALTOS HILLS, CA 94022
ARCHITECT	TOBY LONG DESIGN 6114 LA SALLE AVE #552 OAKLAND, CA 94611
STRUCTURAL	T. 415.905.9030 X1 C. 510.333.3447 CONTACT: TOBY LONG, AIA E. toby@chxtd.com
TITLE 24 / MECHANICAL	
ARBORIST	
GEOTECH	
SURVEY	
LANDSCAPE	
MODULAR FABRICATOR	
GENERAL CONTRACTOR	

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**ARCHITECT**

**ch x tld**  
prefab evolved

6114 LA SALLE AVENUE #552, OAKLAND, CA 94611  
TOBY LONG, AIA - 415.905.9030 - toby@chxtd.com

**MODULAR FABRICATOR**

### APPROVAL STAMP

**THE STEM H S I A RESIDENCE**  
26685 PURISSIMA ROAD  
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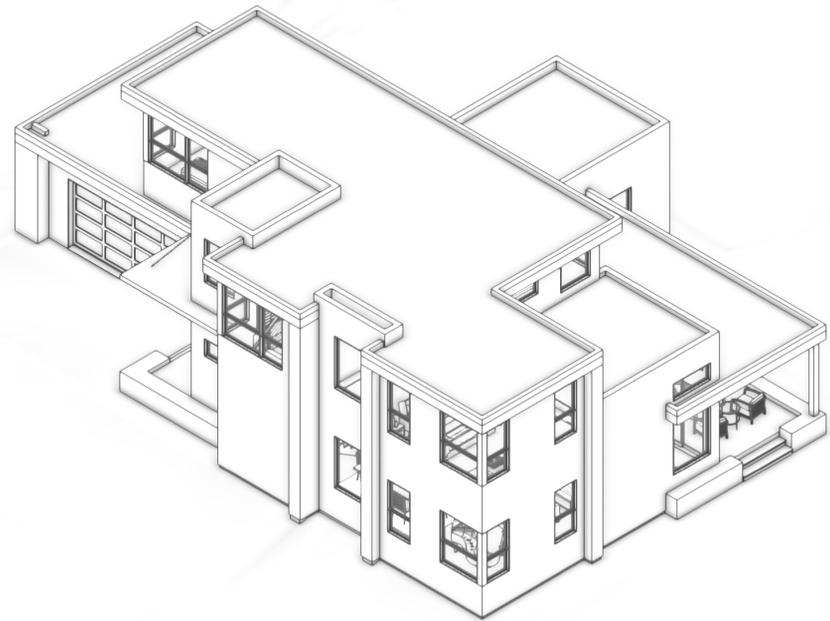
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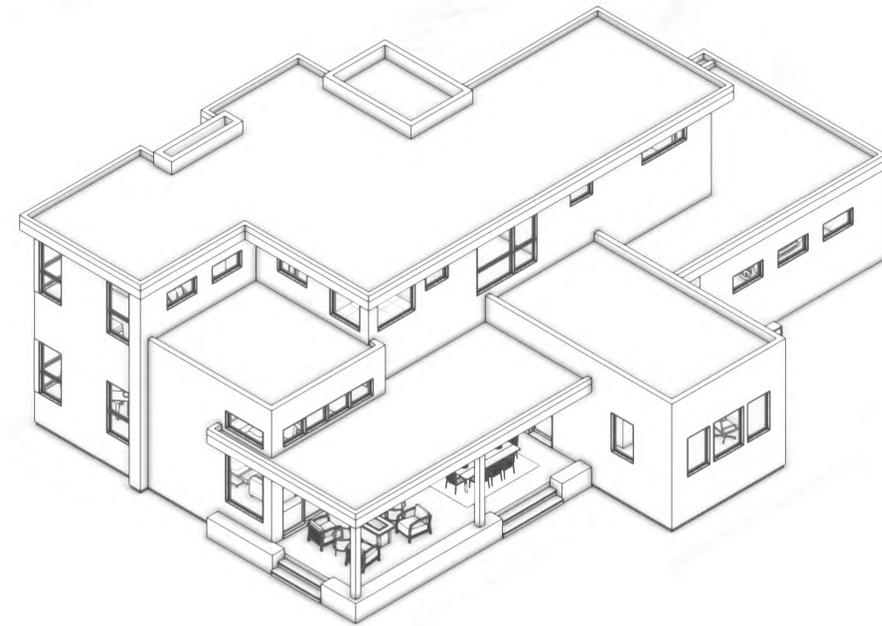
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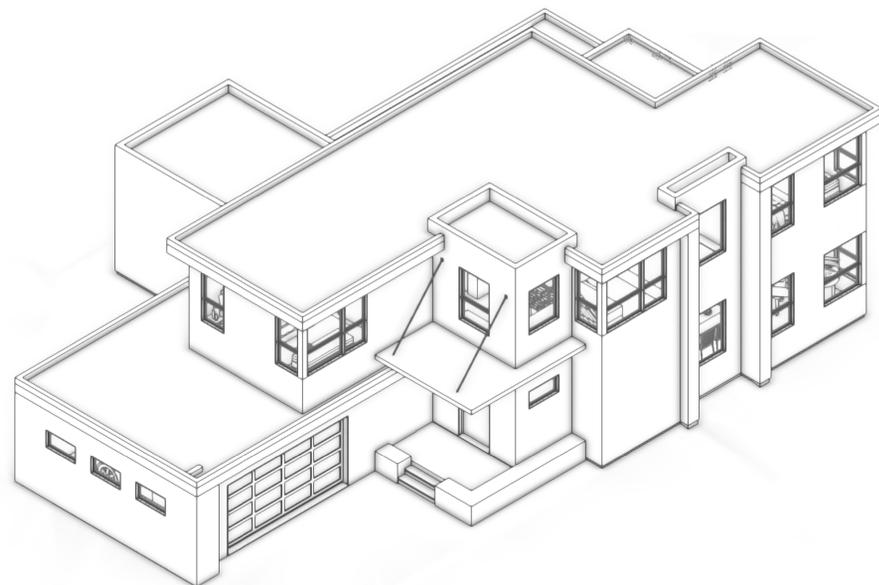
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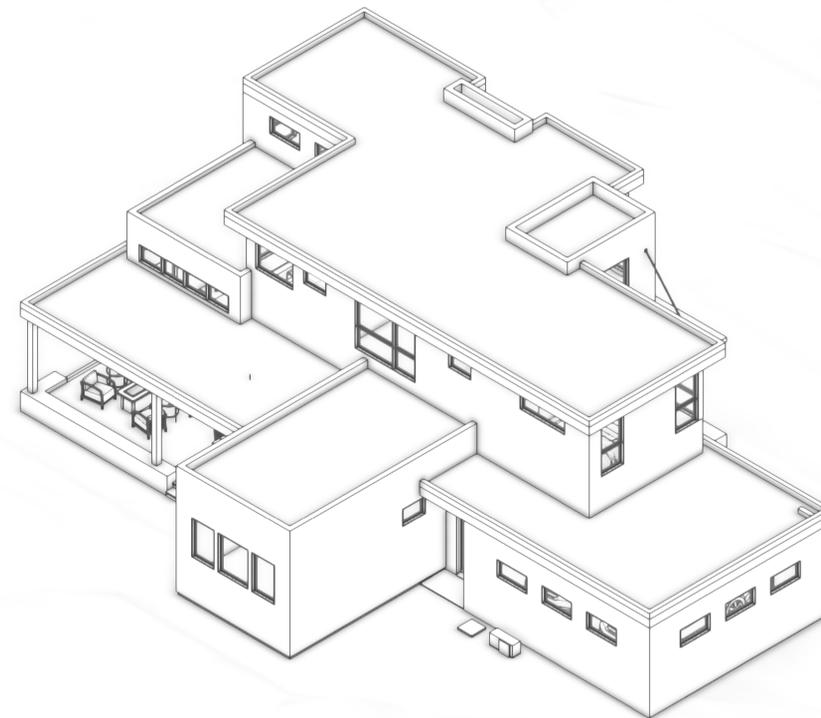
1 AXON FROM SOUTH



2 AXON FROM EAST



3 AXON FROM WEST



4 AXON FROM NORTH



ISSUE	DATE
FA PLANS v1	082819
FA PLANS v2	091119
FA DRAWINGS	092819
PLAN UPDATES	112019
50% DESIGN SET	013020
100% DESIGN SET progress	022520
PLANNING SUBMITTAL	041320
100% DESIGN SET	042120
PLANNING REV1	063020

ARCHITECT

**ch x tld**  
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6114 LASALLE AVENUE #552, OAKLAND, CA 94611  
TOBY LONG, AIA - 415.905.9000 - TLD@CHXTLD.COM

MODULAR FABRICATOR

APPROVAL STAMP

THE STEM Hsia RESIDENCE  
26685 PURISSIMA ROAD  
LOS ALTOS HILLS, CA  
94022  
APN: 175-45-055

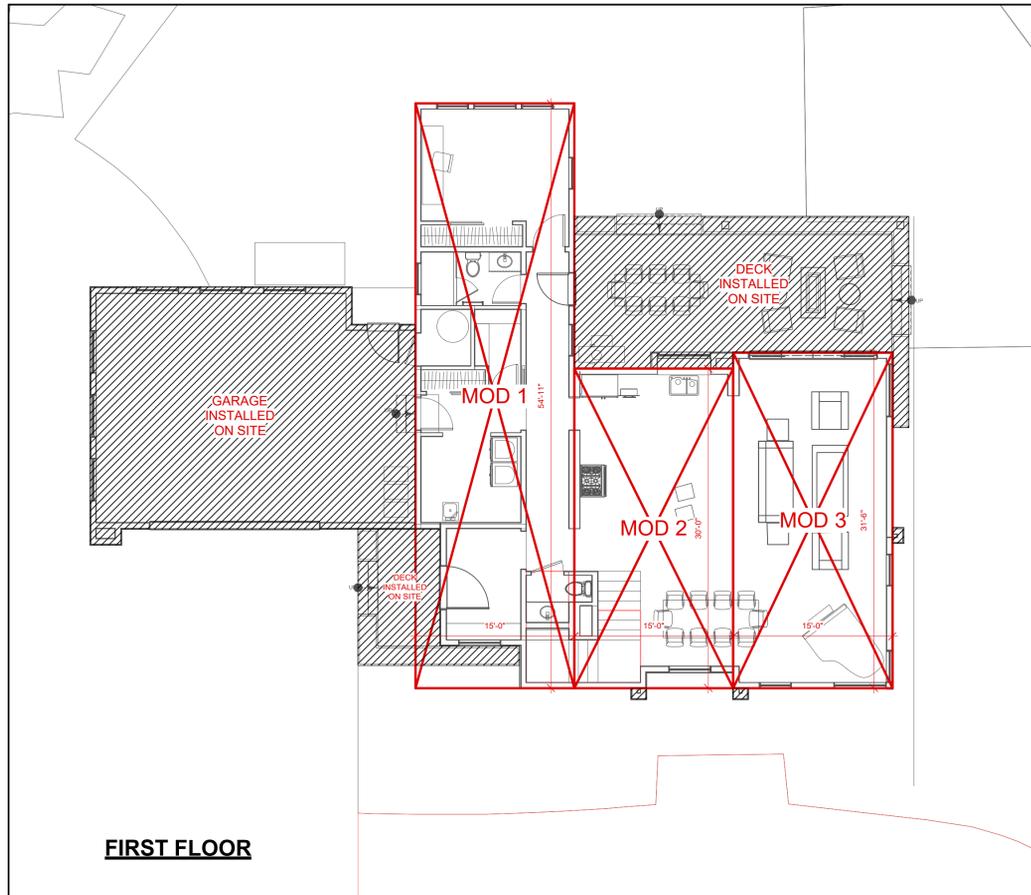
MASSING

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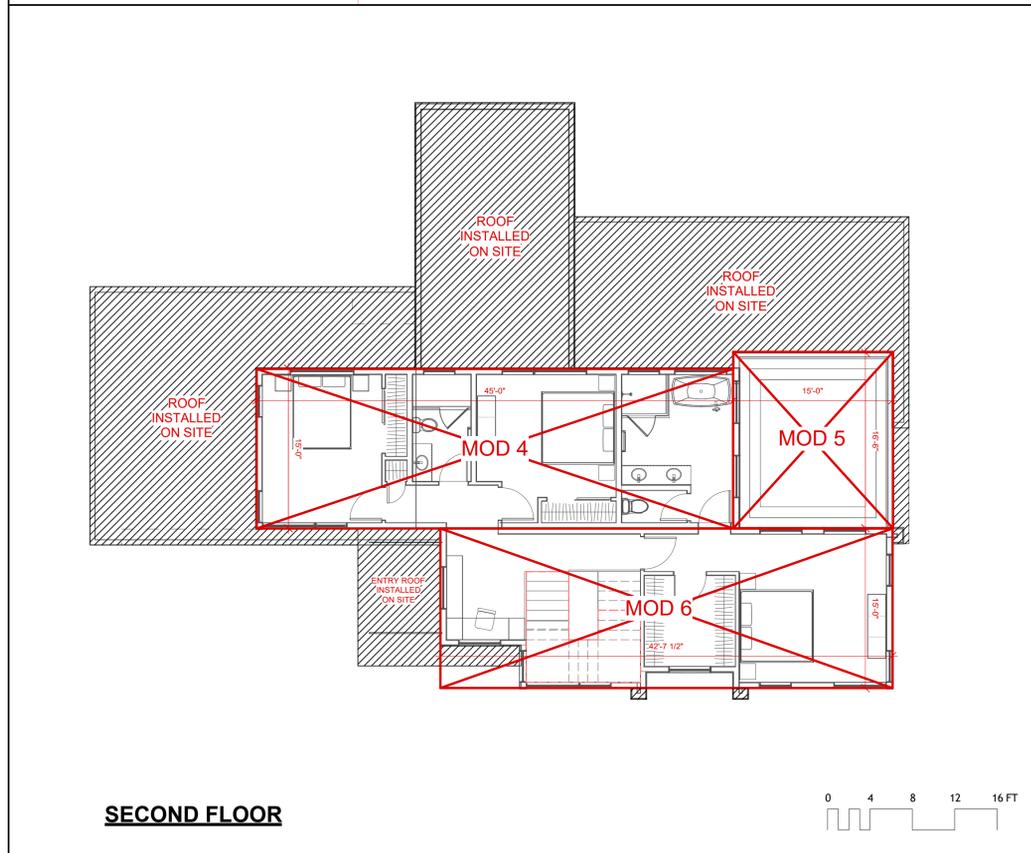
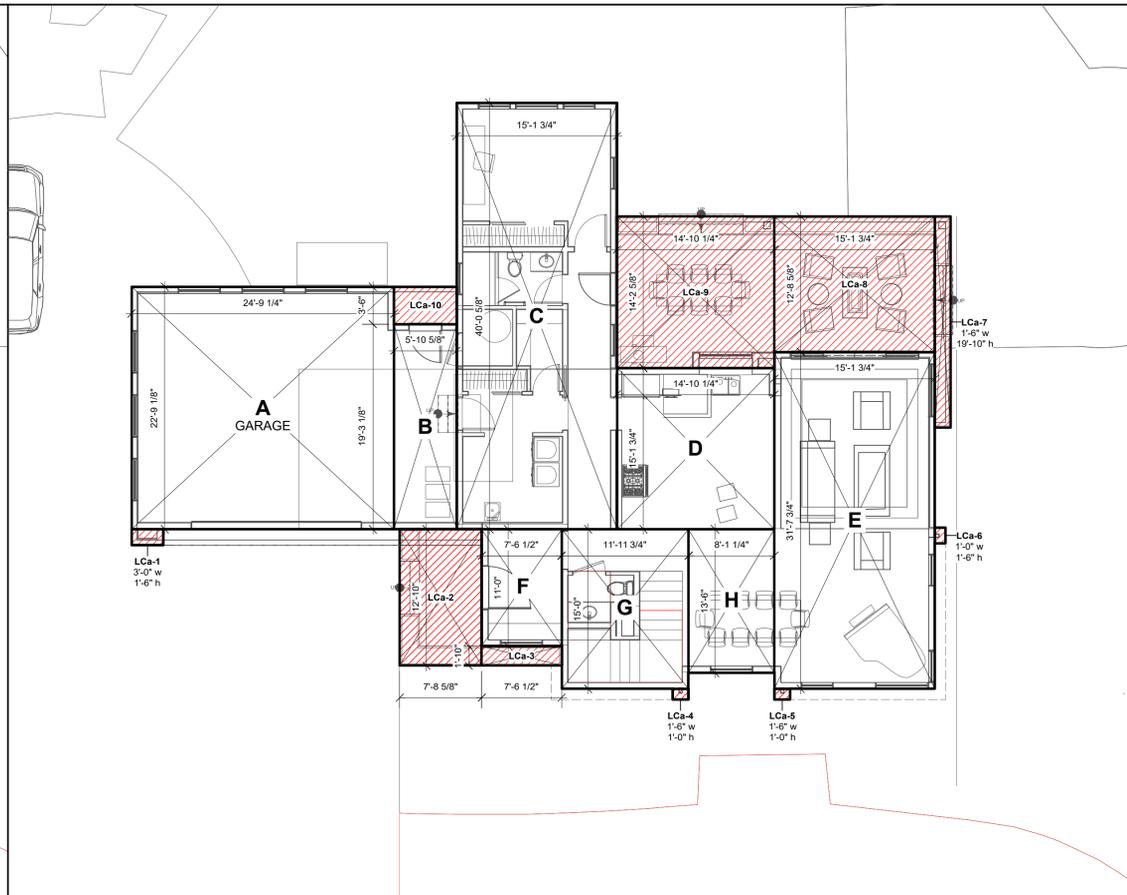
scale  
1/8" = 1'-0"

sheet  
**A 0.5**

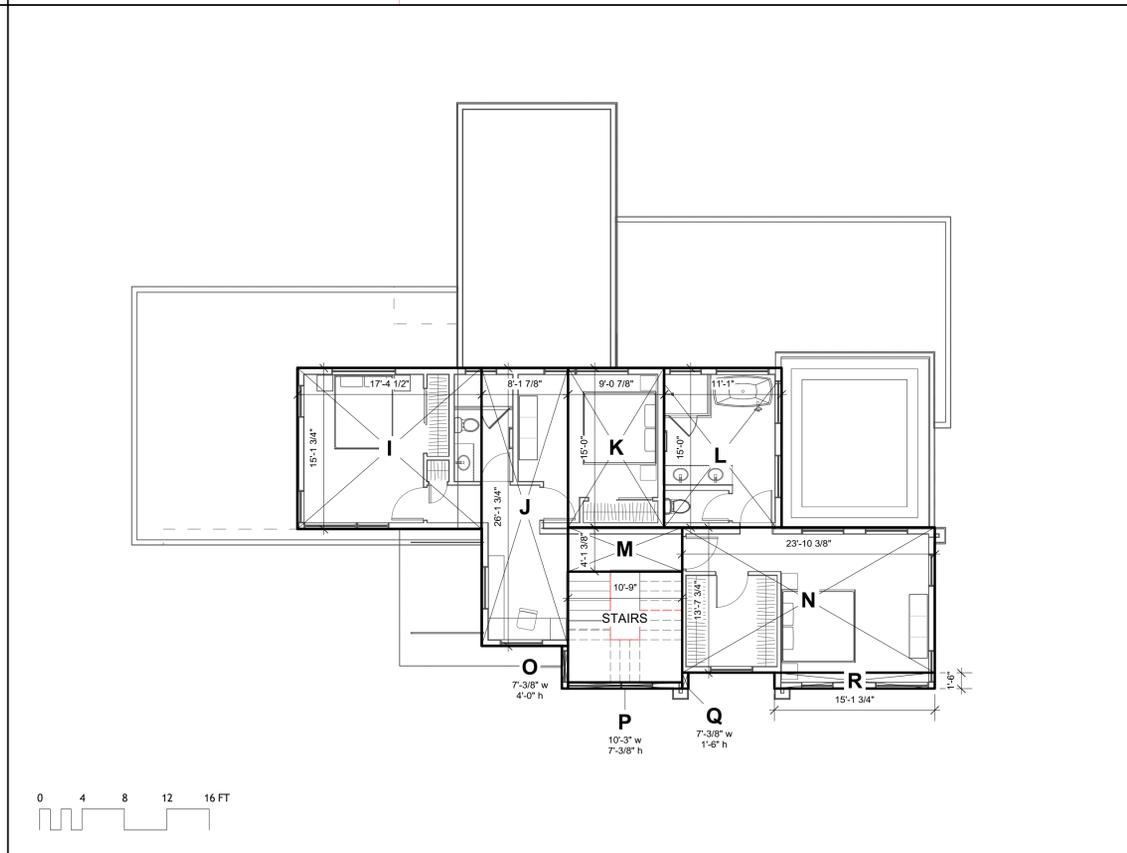
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**FIRST FLOOR**



**SECOND FLOOR**



**FLOOR AREA CALCULATION**

LABEL	WIDTH	HEIGHT	AREA (SQFT)
A	24'-9 1/4"	22'-9 1/8"	563.84
B	4'-10 5/8"	19'-3 1/8"	113.37
C	15'-1 3/4"	40'-0 5/8"	606.62
D	14'-10 1/4"	15'-1 3/4"	224.98
E	15'-1 3/4"	31'-7 3/4"	479.30
F	7'-6 1/2"	11'-0"	82.96
G	11'-11 3/4"	15'-0"	179.69
H	8'-1 1/4"	13'-6"	109.40
<b>FIRST FLOOR AREA (SQFT)</b>			<b>2,360.16</b>
I	17'-4 1/2"	15'-1 3/4"	263.16
J	8'-1 7/8"	26'-1 3/4"	213.25
K	9'-0 7/8"	15'-0"	136.10
L	11'-1"	15'-0"	166.25
M	10'-9"	4'-1 3/8"	44.23
N	23'-10 3/8"	13'-7 3/4"	325.65
O	7'-3/8"	4'-0"	2.46
P	10'-3"	7'-3/8"	6.61
Q	7'-3/8"	1'-6"	.92
R	15'-1 3/4"	1'-6"	22.72
<b>SECOND FLOOR AREA (SQFT)</b>			<b>1,181.35</b>
<b>TOTAL FLOOR AREA (SQFT)</b>			<b>3,541.51</b>
<b>MAXIMUM FLOOR AREA LIMIT</b>			<b>= 5,367 SQ FT</b>
<b>PROJECT IS COMPLIANT</b>			

**BUILDING COVERAGE CALCULATION**

LABEL	WIDTH	HEIGHT	AREA (SQFT)
LCA-1	3'-0"	1'-6"	4.5
LCA-2	7'-8 5/8"	12'-10"	99.06
LCA-3	7'-6 1/2"	1'-10"	13.83
LCA-4	1'-6"	1'-0"	1.5
LCA-5	1'-6"	1'-0"	1.5
LCA-6	1'-0"	1'-6"	1.5
LCA-7	1'-6"	19'-10"	29.75
LCA-8	15'-1 3/4"	12'-8 5/8"	192.60
LCA-9	14'-10 1/4"	14'-2 5/8"	211.16
LCA-10	5'-10 5/8"	3'-6"	20.6
<b>LCA SUBTOTAL (SQFT)</b>			<b>576</b>
<b>FIRST FLOOR AREA (SQFT)</b>			<b>2,360.16</b>

**TOTAL (N) BUILDING COVERAGE (SQFT)**  
**3,542**

**TOTAL (E) COTTAGE / (E) SHED BUILDING COVERAGE (SQFT)**  
**1,433**

**TOTAL DRIVEWAY / PATIO / AC PAD CONCRETE COVERAGE (SQFT)**  
**8,695**

**TOTAL PROPOSED PROPERTY DEVELOPMENT AREA**  
**13,670 - 800sf @ ADU cottage =**

**12,870 SQ FT**

**MAXIMUM DEVELOPMENT AREA = 12,445 SQ FT**



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PLANNING REV1	063020



**MODULAR FABRICATOR**

**APPROVAL STAMP**

**THE STEM Hsia RESIDENCE**  
26685 PURISSIMA ROAD  
LOS ALTOS HILLS, CA  
94022  
APN: 175-45-055

**MOD DIAGRAMS & AREA CALCS**

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scale  
1/8"=1'-0"

sheet  
**A 0.6**



1 PERSPECTIVE FROM FRONT YARD



2 PERSPECTIVE FROM REAR YARD



ISSUE	DATE
FA PLANS v1	082819
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PLANNING REV1	063020

ARCHITECT

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MODULAR FABRICATOR

APPROVAL STAMP

THE STEM HSI RESIDENCE  
26685 PURISSIMA ROAD  
LOS ALTOS HILLS, CA  
94022  
APN: 175-45-055

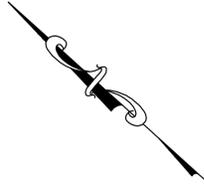
RENDERINGS

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scale  
NA

sheet  
**A 0.9**

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**LEGEND**

BOUNDARY	=====
PROPERTY LINE	=====
CENTER LINE	=====
SETBACK LINE	=====
EASEMENT LINE	=====
FACE OF BUILDING LINE	=====
WOODEN FENCE	=====
CHAINLINK FENCE	=====
BARBED WIRE FENCE	=====
EDGE OF CREEK	=====
GAS METER	(G)
WATER METER	(W)
LANDSCAPE LIGHT	(*)
SANITARY SEWER CLEANOUT	(S)
SANITARY SEWER MANHOLE	(S)
STORMDRAIN MANHOLE	(D)
WATER VALVE	(V)
FIRE HYDRANT	(H)
JOINT POLE	(J)
CATCH BASIN	(CB)
FOUND IRON PIPE AS NOTED	(IP)
FOUND MONUMENT AS NOTED	(M)

**ABBREVIATIONS**

FL	FLOWLINE
TC	TOP OF CURB
C	CONCRETE
L	LIP OF GUTTER
G	GROUND
AC	ASPHALTIC CONCRETE
TS	TOP OF STEP
TW	TOP OF WALL
P.U.E.	PUBLIC UTILITY EASEMENT
P.S.E.	PUBLIC SERVICE EASEMENT
B.S.L.	BUILDING SETBACK LINE

**NOTES**

- PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
- DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
- NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY.
- ASSESSOR'S PARCEL NUMBER: 175-45-055
- TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.
- DIMENSIONS FROM HOUSE TO PROPERTY LINE ARE MEASURED FROM THE BUILDING FACE OF THE STRUCTURE, PERPENDICULAR TO THE PROPERTY LINES
- OWNER SHOULD CONSULT WITH CITY PLANNER TO CONFIRM CURRENT ZONING AND SETBACK REQUIREMENTS.

AVERAGE SLOPE = 0.00231X6281.2/1.019  
 AVERAGE SLOPE = 14.2%  
 LUF = 1.019(1-0.02143(14.2-10))  
 LUF = 0.927  
 MFA = 0.927(6000-50)(14.2-10)  
 MFA = 5,367 S.F.  
 MDA = 0.927(15,000-375)(14.2-10)  
 MDA = 12,445 S.F.

**BASIS OF BEARINGS**

BEARINGS SHOWN HEREON ARE BASED ON THAT RECORD OF SURVEY RECORDED IN BOOK 922 OF MAPS AT PAGE 10, SANTA CLARA COUNTY RECORDS.

**PROJECT BENCHMARK**

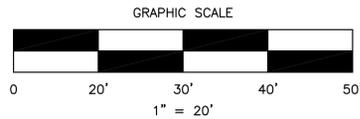
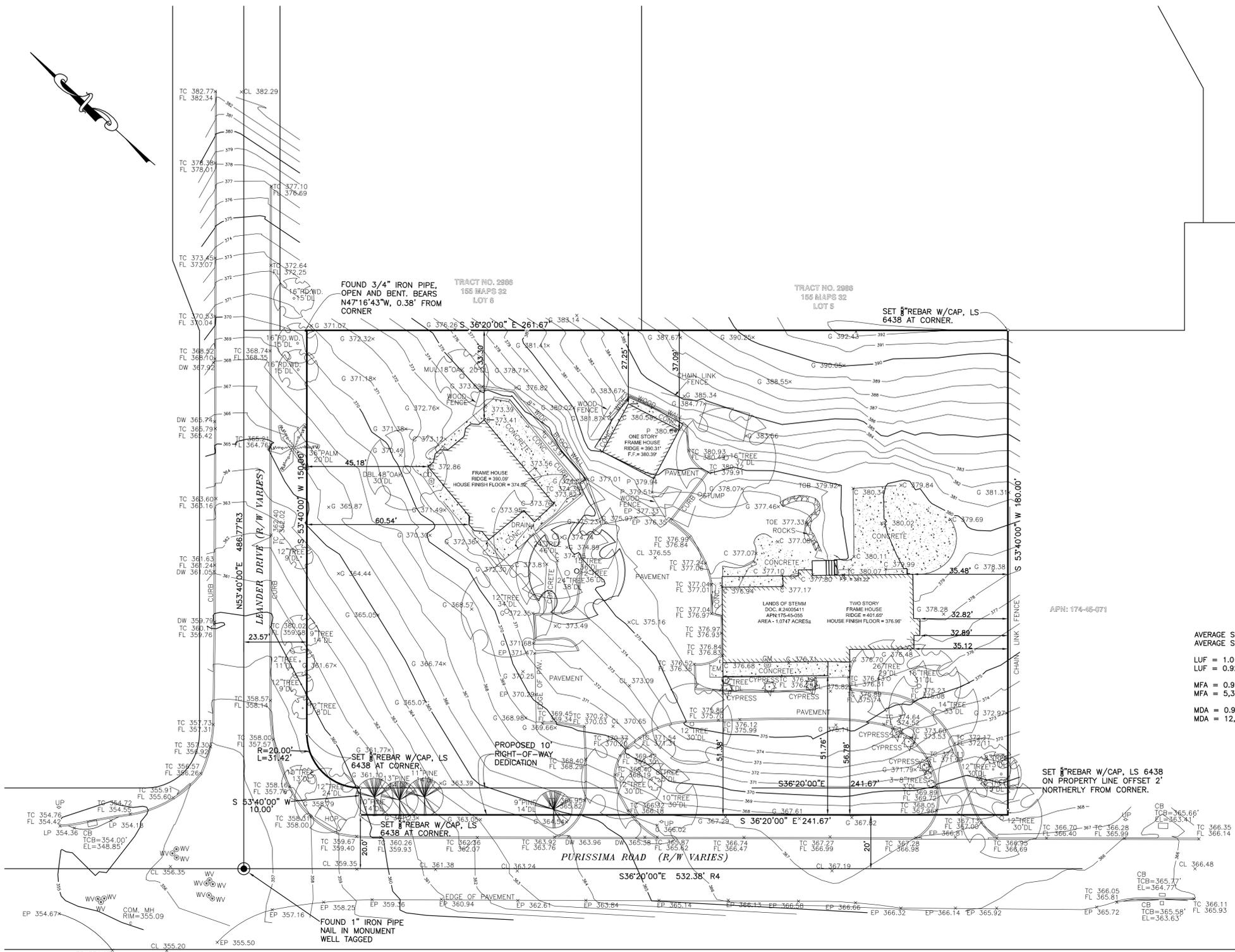
ELEVATIONS SHOWN HEREON ARE BASED ON THE TOWN OF LOS ALTOS BENCHMARK BM 14R. ELEVATION TAKEN AS 484.16 FEET.

**SURVEYOR'S STATEMENT**

THIS TOPOGRAPHIC SURVEY WAS PERFORMED BY ME OR UNDER MY DIRECTION.

*Tom H. Milo*  
 TOM H. MILO  
 L.S. 6438

JUNE 10, 2020  
 DATE



DRAWN BY THM  
 CKD. BY THM  
 DATE 7/22/2019  
 SCALE 1" = 20'

**BOUNDARY & TOPOGRAPHIC SURVEY**  
 APN: 175-45-055  
 26685 PURISSIMA ROAD  
 LOS ALTOS HILLS CALIFORNIA

**T.K.M.**  
 Land Surveyors  
 2250 Bohannon Drive  
 Santa Clara, CA 95050  
 408.615.8855 phone  
 408.615.1556 fax

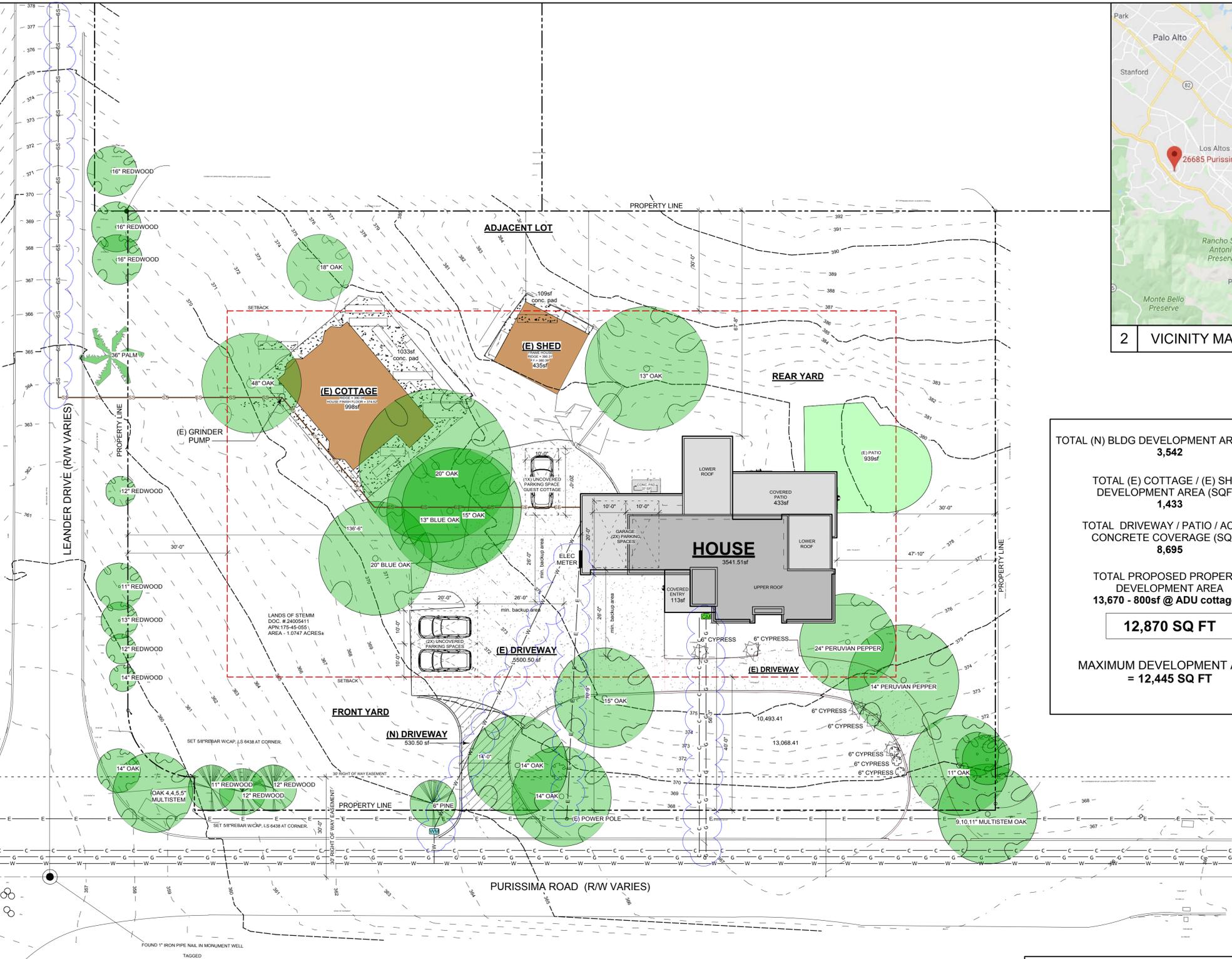
JOB NO. SHEET  
 FILE NO. 1 OF 1

3. Water Supply Requirements: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record.  
Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s), 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.

4. Fire Apparatus (Engine) Access Driveway Required: Provide an access driveway with a paved all weather surface capable of supporting apparatus weighing at least 75K pounds, a minimum unobstructed width of 14 feet, vertical clearance of 13 feet 6 inches, minimum circulating turning radius of 36 feet outside and 23 feet inside, and a maximum slope of 15%. Installations shall conform to Fire Department Standard Details and Specifications sheet D-1. Driveway width as shown is inadequate.

5. Address Identification: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.

6. Construction Site Fire Safety: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7.



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100% DESIGN SET	041320
PLANNING SUBMITTAL	042120
PLANNING REV1	063020
PLANNING REV2	072220

ARCHITECT

**ch x tid**  
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6114 LASALLE AVENUE #552 OAKLAND CA 94611  
T: 541.981.2259  
E: rrothweiler@fidelity-builders.net

MODULAR FABRICATOR

**FIDELITY BUILDERS**  
Modern Solutions - Enduring Quality

FIDELITY BUILDERS, INC.  
955 SE JACKSON ST  
ALBANY, OR 97322  
CONTACT: RANDY ROTHWEILER  
T: 541.981.2259  
E: rrothweiler@fidelity-builders.net

TOTAL (N) BLDG DEVELOPMENT AREA (SQFT)	<b>3,542</b>
TOTAL (E) COTTAGE / (E) SHED DEVELOPMENT AREA (SQFT)	<b>1,433</b>
TOTAL DRIVEWAY / PATIO / AC PAD CONCRETE COVERAGE (SQFT)	<b>8,695</b>
TOTAL PROPOSED PROPERTY DEVELOPMENT AREA	<b>13,670 - 800sf @ ADU cottage =</b>
	<b>12,870 SQ FT</b>
MAXIMUM DEVELOPMENT AREA	<b>= 12,445 SQ FT</b>

APPROVAL STAMP

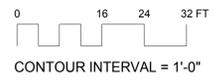
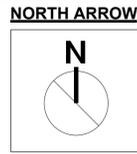
THE STEMMS HSIA RESIDENCE  
26685 PURISSIMA ROAD  
LOS ALTOS HILLS, CA  
94022  
APN: 175-45-055

**SITE PLAN**

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**PROJECT DATA**

AREA CALCULATIONS (PROPOSED)	
FIRST FLOOR	1,682.95 SQFT
SECOND FLOOR	1,181.35 SQFT
SUB-TOTAL HABITABLE AREA	2,864.30 SQFT
GARAGE	677.21 SQFT
<b>TOTAL BUILDING AREA</b>	<b>3,541.51 SQFT</b>
COVERED PORCHES / PATIOS	546.40 SQFT

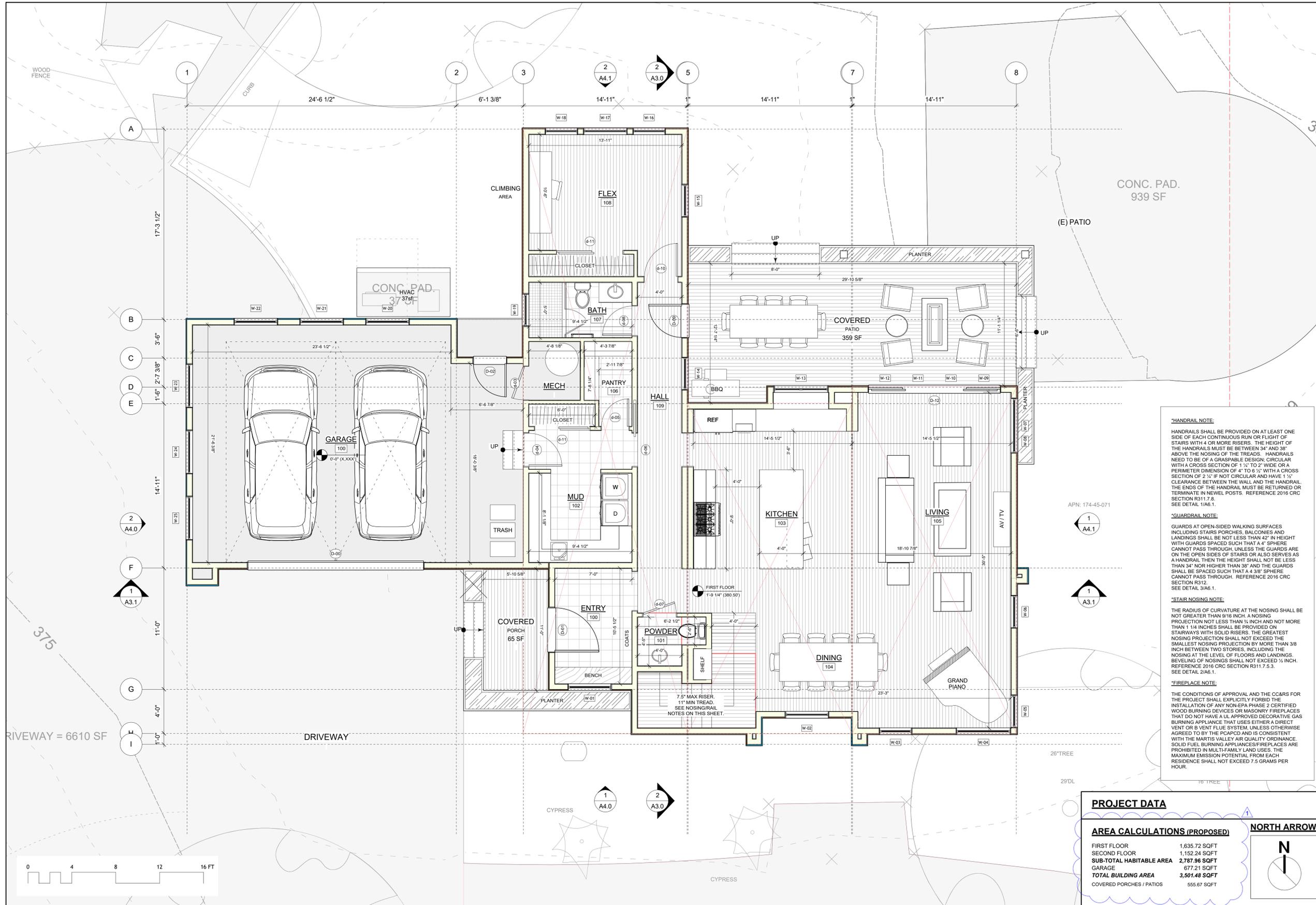


scale  
1/16" = 1'-0"

sheet

**A 1.2**

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100% DESIGN SET	042120
PLANNING REV1	063020

ARCHITECT

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prefab evolved

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1081 LONG.AIA - 415.963.8600 - TDS@CHXTLD.COM

MODULAR FABRICATOR

APPROVAL STAMP

**\*HANDRAIL NOTE:**  
HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OR FLIGHT OF STAIRS WITH 4 OR MORE RISERS. THE HEIGHT OF THE HANDRAILS MUST BE BETWEEN 34" AND 38" ABOVE THE NOSING OF THE TREADS. HANDRAILS NEED TO BE OF A GRASPABLE DESIGN, CIRCULAR WITH A CROSS SECTION OF 1 1/2" TO 2" WIDE OR A PERIMETER DIMENSION OF 4" TO 6 1/2" WITH A CROSS SECTION OF 2 1/2" IF NOT CIRCULAR AND HAVE 1 1/2" CLEARANCE BETWEEN THE WALL AND THE HANDRAIL. THE ENDS OF THE HANDRAIL MUST BE RETURNED OR TERMINATE IN NEWEL POSTS. REFERENCE 2016 CRC SECTION R311.7.6. SEE DETAIL 1/A6.1.

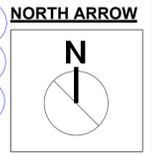
**\*GUARDRAIL NOTE:**  
GUARDS AT OPEN-SIDED WALKING SURFACES INCLUDING STAIRS, PORCHES, BALCONIES AND LANDINGS SHALL BE NOT LESS THAN 42" IN HEIGHT WITH GUARDS SPACED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH, UNLESS THE GUARDS ARE ON THE OPEN SIDES OF STAIRS OR ALSO SERVES AS A HANDRAIL THEN THE HEIGHT SHALL NOT BE LESS THAN 34" NOR HIGHER THAN 38" AND THE GUARDS SHALL BE SPACED SUCH THAT A 3/8" SPHERE CANNOT PASS THROUGH. REFERENCE 2016 CRC SECTION R312. SEE DETAIL 3/A6.1.

**\*STAIR NOSING NOTE:**  
THE RADIUS OF CURVATURE AT THE NOSING SHALL BE NOT GREATER THAN 9/16" INCH. A NOSING PROJECTION NOT LESS THAN 1/2" INCH AND NOT MORE THAN 1 1/4" INCHES SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAN 3/8" INCH BETWEEN TWO STORIES, INCLUDING THE NOSING AT THE LEVEL OF FLOORS AND LANDINGS. BEVELING OF NOSINGS SHALL NOT EXCEED 1/4" INCH. REFERENCE 2016 CRC SECTION R311.7.5.3. SEE DETAIL 2/A6.1.

**\*FIREPLACE NOTE:**  
THE CONDITIONS OF APPROVAL AND THE CCARS FOR THE PROJECT SHALL EXPLICITLY FORBID THE INSTALLATION OF ANY NON-EPA PHASE 2 CERTIFIED WOOD BURNING DEVICES OR MASONRY FIREPLACES THAT DO NOT HAVE A UL APPROVED DECORATIVE GAS BURNING APPLIANCE THAT USES EITHER A DIRECT VENT OR B VENT FLUE SYSTEM, UNLESS OTHERWISE AGREED TO BY THE PCAPCD AND IS CONSISTENT WITH THE MARTIS VALLEY AIR QUALITY ORDINANCE. SOLID FUEL BURNING APPLIANCES/FIREPLACES ARE PROHIBITED IN MULTI-FAMILY LAND USES. THE MAXIMUM EMISSION POTENTIAL FROM EACH RESIDENCE SHALL NOT EXCEED 7.5 GRAMS PER HOUR.

**PROJECT DATA**

AREA CALCULATIONS (PROPOSED)	
FIRST FLOOR	1,635.72 SQFT
SECOND FLOOR	1,152.24 SQFT
<b>SUB-TOTAL HABITABLE AREA</b>	<b>2,787.96 SQFT</b>
GARAGE	677.21 SQFT
<b>TOTAL BUILDING AREA</b>	<b>3,501.48 SQFT</b>
COVERED PORCHES / PATIOS	555.67 SQFT



scale  
1/4"=1'-0"

sheet

**A 2.1**

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ARCHITECT



MODULAR FABRICATOR

APPROVAL STAMP

THE STEM HSI RESIDENCE  
26685 PURISSIMA ROAD  
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94022  
APN: 175-45-055

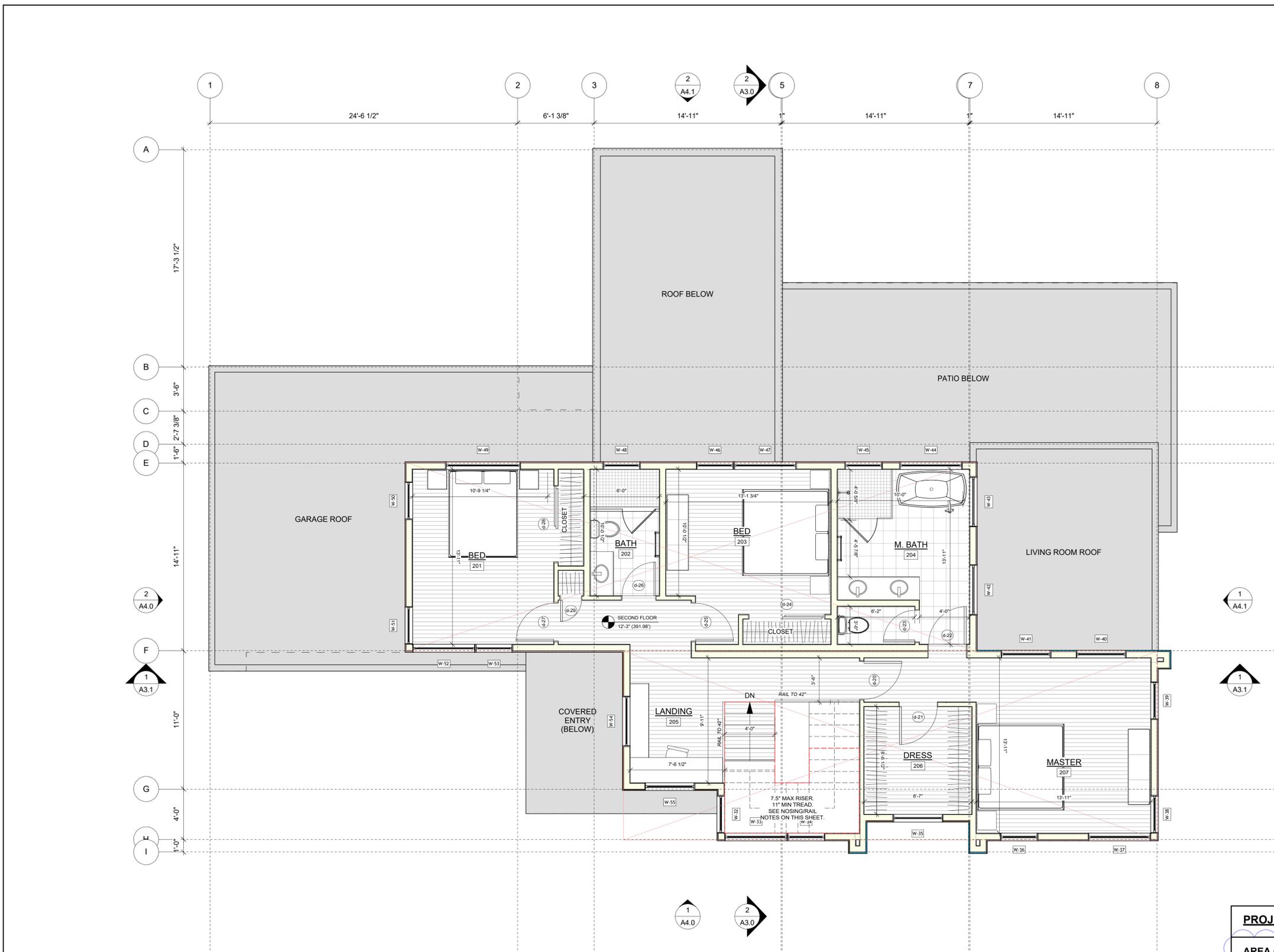
PLANS

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scale  
1/4"=1'-0"

sheet  
**A 2.2**

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**\*HANDRAIL NOTE:**  
HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OR FLIGHT OF STAIRS WITH 4 OR MORE RISERS. THE HEIGHT OF THE HANDRAILS MUST BE BETWEEN 34" AND 38" ABOVE THE NOSING OF THE TREADS. HANDRAILS NEED TO BE OF A GRASPABLE DESIGN, CIRCULAR WITH A CROSS SECTION OF 1 1/2" TO 2" WIDE OR A PERIMETER DIMENSION OF 4" TO 6 1/2" WITH A CROSS SECTION OF 2 1/2" IF NOT CIRCULAR AND HAVE 1 1/2" CLEARANCE BETWEEN THE WALL AND THE HANDRAIL. THE ENDS OF THE HANDRAIL MUST BE RETURNED OR TERMINATE IN NEWEL POSTS. REFERENCE 2016 CRC SECTION R311.7.6. SEE DETAIL 1/A6.1.

**\*GUARDRAIL NOTE:**  
GUARDS AT OPEN-SIDED WALKING SURFACES INCLUDING STAIRS, PORCHES, BALCONIES AND LANDINGS SHALL BE NOT LESS THAN 42" IN HEIGHT WITH GUARDS SPACED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH, UNLESS THE GUARDS ARE ON THE OPEN SIDES OF STAIRS OR ALSO SERVES AS A HANDRAIL THEN THE HEIGHT SHALL NOT BE LESS THAN 34" NOR HIGHER THAN 38" AND THE GUARDS SHALL BE SPACED SUCH THAT A 4 3/8" SPHERE CANNOT PASS THROUGH. REFERENCE 2016 CRC SECTION R312. SEE DETAIL 3/A6.1.

**\*STAIR NOSING NOTE:**  
THE RADIUS OF CURVATURE AT THE NOSING SHALL BE NOT GREATER THAN 9/16" INCH. A NOSING PROJECTION NOT LESS THAN 1/4" INCH AND NOT MORE THAN 1 1/4" INCHES SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAN 3/8" INCH BETWEEN TWO STORIES, INCLUDING THE NOSING AT THE LEVEL OF FLOORS AND LANDINGS. BEVELING OF NOSINGS SHALL NOT EXCEED 1/4" INCH. REFERENCE 2016 CRC SECTION R311.7.5.3. SEE DETAIL 2/A6.1.

**\*FIREPLACE NOTE:**  
THE CONDITIONS OF APPROVAL AND THE CCARS FOR THE PROJECT SHALL EXPLICITLY FORBID THE INSTALLATION OF ANY NON-EPA PHASE 2 CERTIFIED WOOD BURNING DEVICES OR MASONRY FIREPLACES THAT DO NOT HAVE A UL APPROVED DECORATIVE GAS BURNING APPLIANCE THAT USES EITHER A DIRECT VENT OR B VENT FLUE SYSTEM, UNLESS OTHERWISE AGREED TO BY THE PCAPCD AND IS CONSISTENT WITH THE MARTIS VALLEY AIR QUALITY ORDINANCE. SOLID FUEL BURNING APPLIANCES/FIREPLACES ARE PROHIBITED IN MULTI-FAMILY LAND USES. THE MAXIMUM EMISSION POTENTIAL FROM EACH RESIDENCE SHALL NOT EXCEED 7.5 GRAMS PER HOUR.

**PROJECT DATA**

AREA CALCULATIONS (PROPOSED)	
FIRST FLOOR	1,635.72 SQFT
SECOND FLOOR	1,152.24 SQFT
<b>SUB-TOTAL HABITABLE AREA</b>	<b>2,787.96 SQFT</b>
GARAGE	677.21 SQFT
<b>TOTAL BUILDING AREA</b>	<b>3,501.48 SQFT</b>
COVERED PORCHES / PATIOS	555.67 SQFT

**NORTH ARROW**





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FA PLANS v2	091119
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100% DESIGN SET	042120
PLANNING REV1	063020

**ARCHITECT**

**ch x tld** prefab evolved

6114 LASALLE AVENUE #552, OAKLAND CA 94611  
 TOBY LONG, AIA - 415.963.5565 - TOL@CHXTLD.COM

**MODULAR FABRICATOR**

**APPROVAL STAMP**

**THE STEMM HSIA RESIDENCE**  
 26685 PURISSIMA ROAD  
 LOS ALTOS HILLS, CA  
 94022  
 APN: 175-45-055

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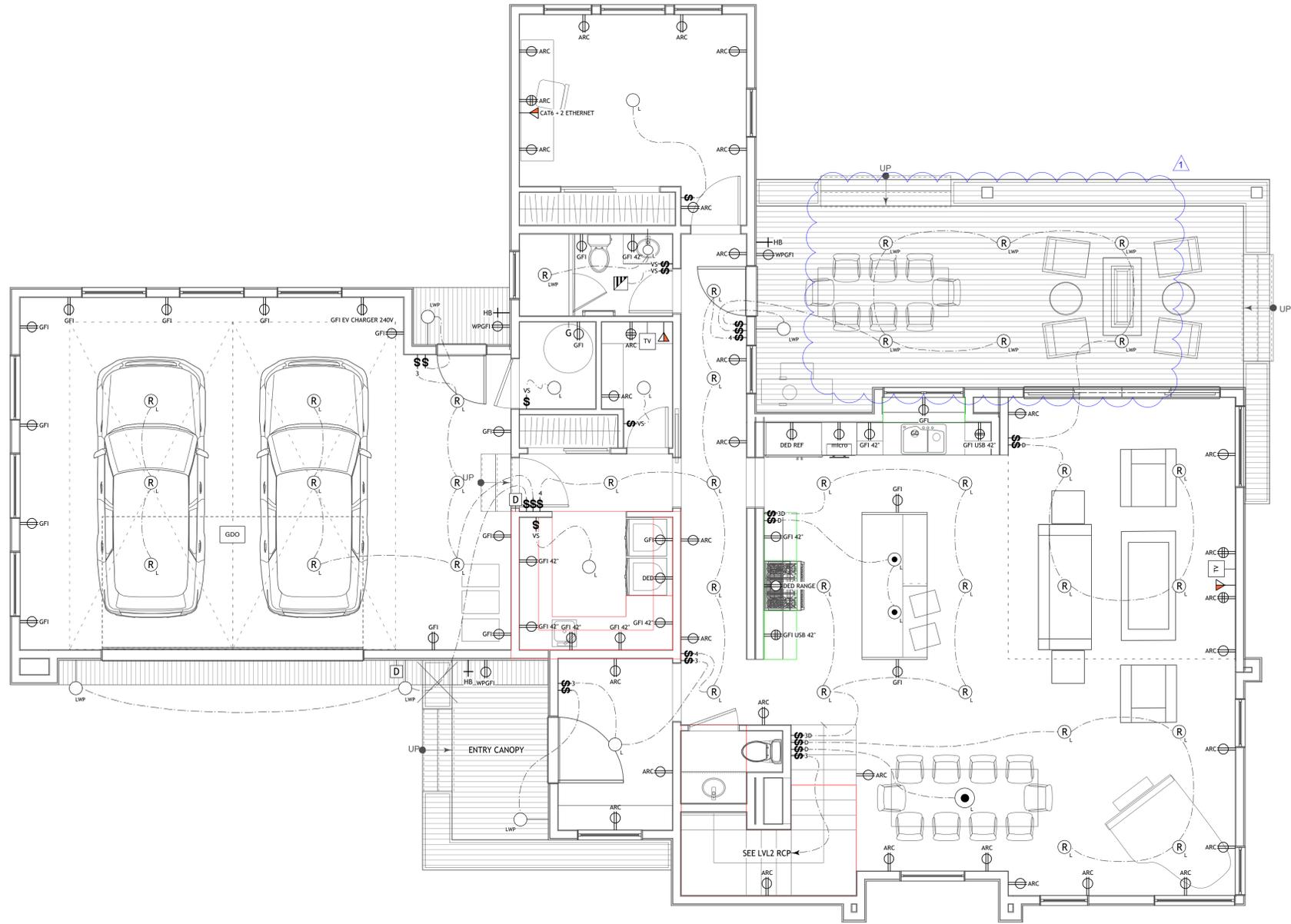
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**NORTH ARROW**

scale  
1/4"=1'-0"

sheet  
**A 2.3**

	Max < lumens	Color - Kelvins
Path lights	200	2700
Step lights	110	2700
Exterior wall sconces	600	3000
Exterior recessed lights	600	3000
Front door pendants	600	3000



LEGEND

	DUPLEX RECEPTACLE		CAT6 DATA PORT WALL MOUNTED
	FOURPLEX RECEPTACLE		CAT6 DATA PORT CEILING MOUNTED
	WATERPROOF RECEPTACLE		GARAGE DOOR DATA PAD
	SWITCHED OUTLET		CABLE / TELEVISION
	GROUND FAULT CIRCUIT INTERRUPTER		SPEAKER LOCATION
	DEDICATED OUTLET		SINGLE POLE SWITCH
	FLOOR OUTLET		DIMMER SWITCH
	CEILING OUTLET		THREE WAY SWITCH
	EXHAUST FAN W/ HUMIDISTAT		VACANCY SENSOR
	PENDANT		WEATHER PROOF SURFACE MOUNTED FIXTURE
	SURFACE MOUNTED FIXTURE		WEATHER PROOF RECESSED DOWNLIGHT
	RECESSED LIGHT		WEATHER PROOF WALL MOUNTED LIGHT
	RECESSED LIGHT - LED FIXTURE		GARAGE DOOR OPENER W/ LIGHT
	RECESSED DIRECTIONAL DOWNLIGHT (32W)		MOTION ACTIVATED EXT. W/ FLOOD LIGHT W/ PHOTOCELL
	WALL MOUNTED SCONCE		SMOKE DETECTOR
	FLUORESCENT TUBE (2) TS UNITS @ 54W		CARBON MONOXIDE DETECTOR
	GAS LINE		THERMOSTAT
	GARBAGE DISPOSAL		EXTERIOR DOWNLIGHT
	HOSE BIB		

MECHANICAL / ELECTRICAL / LIGHTING NOTES

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8. SMALL APPLIANCE BRANCH CIRCUITS SHALL BE RATED AT 1500 VA EACH. PER CEC ARTICLE 220.52(A).
9. ALL 120-VOLT, 15 AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, PARLORS, LIBRARIES OR OTHER SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE DEVICE AS REQUIRED BY CEC ARTICLE 210.12(B).
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ARCHITECT



MODULAR FABRICATOR

APPROVAL STAMP

THE STEM HSA RESIDENCE  
26685 PURISSIMA ROAD  
LOS ALTOS HILLS, CA  
94022  
APN: 175-45-055

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scale  
1/4"=1'-0"

sheet  
A 2.4

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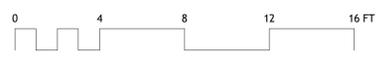
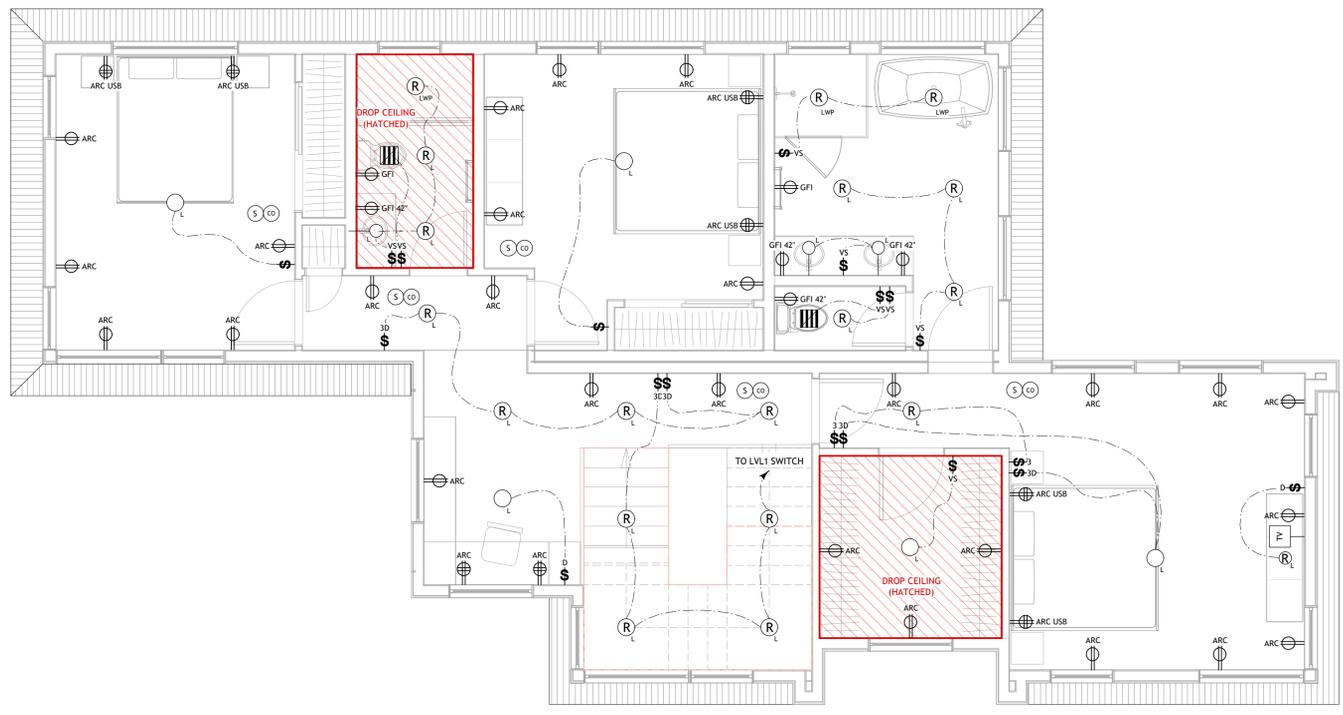
**MODULAR FABRICATOR**

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**1 LEVEL 2 REFLECTED CEILING PLAN**

**THE STEM HSA RESIDENCE**  
 26685 PURISSIMA ROAD  
 LOS ALTOS HILLS, CA  
 94022  
 APN: 175-45-055

**PLANS**

scale  
 1/4"=1'-0"

sheet  
**A 2.5**

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ARCHITECT



MODULAR FABRICATOR

APPROVAL STAMP

THE STEM HSI RESIDENCE  
26685 PURISSIMA ROAD  
LOS ALTOS HILLS, CA  
94022  
APN: 175-45-055

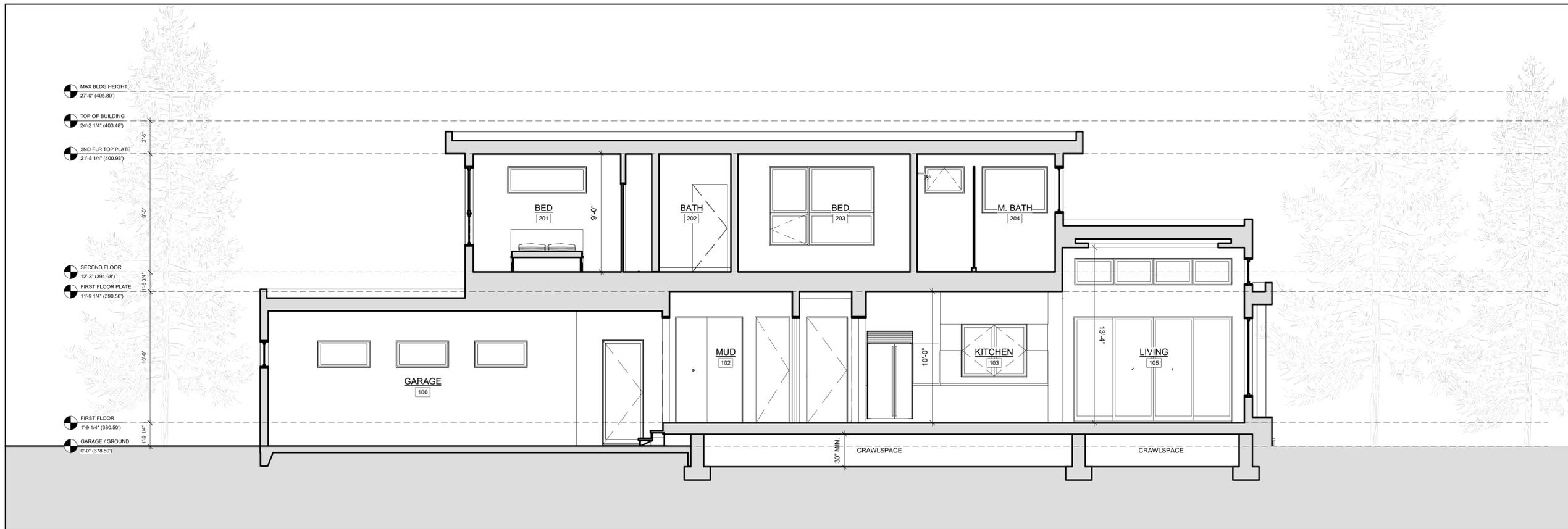
SECTIONS

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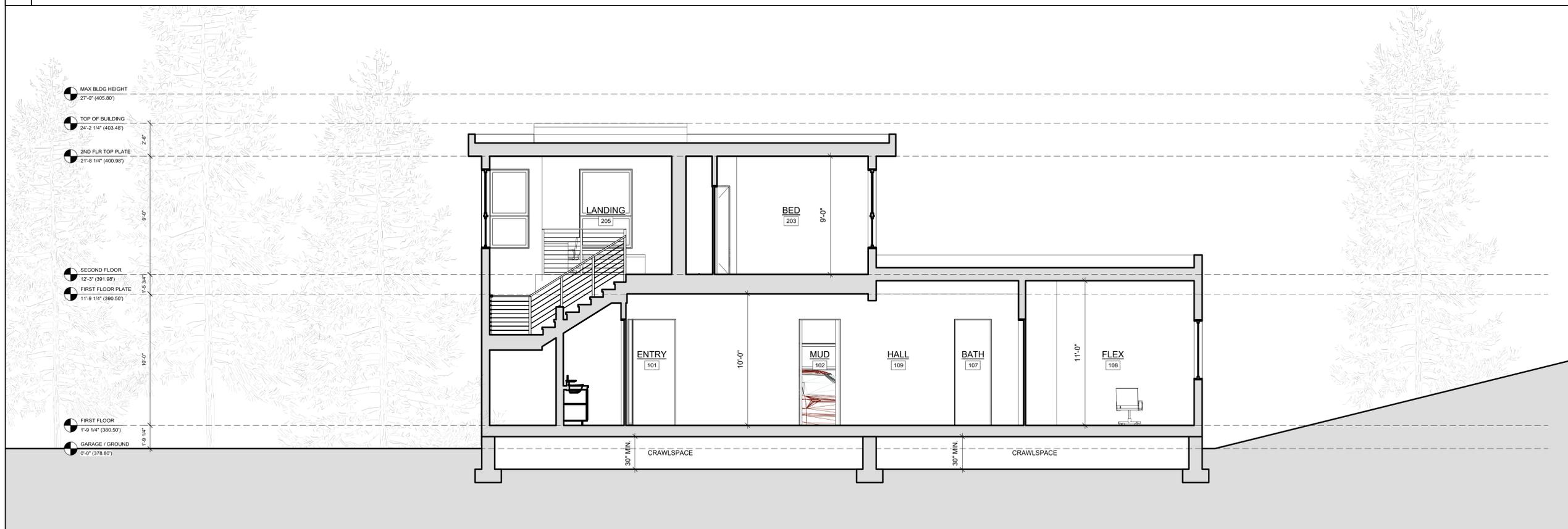
scale  
1/4" = 1'-0"

sheet  
**A 3.0**

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1 ELEVATION FROM SOUTHWEST



2 ELEVATION FROM SOUTHEAST



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ARCHITECT

**ch x tld**  
prefab evolved

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TODD LONG, AIA - 415.865.8650 - TOD@CHXTLD.COM

MODULAR FABRICATOR

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scale  
1/4" = 1'-0"

sheet  
**A 4.0**

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1 ELEVATION FROM SOUTHWEST



2 ELEVATION FROM SOUTHEAST



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scale  
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sheet  
**A 4.1**

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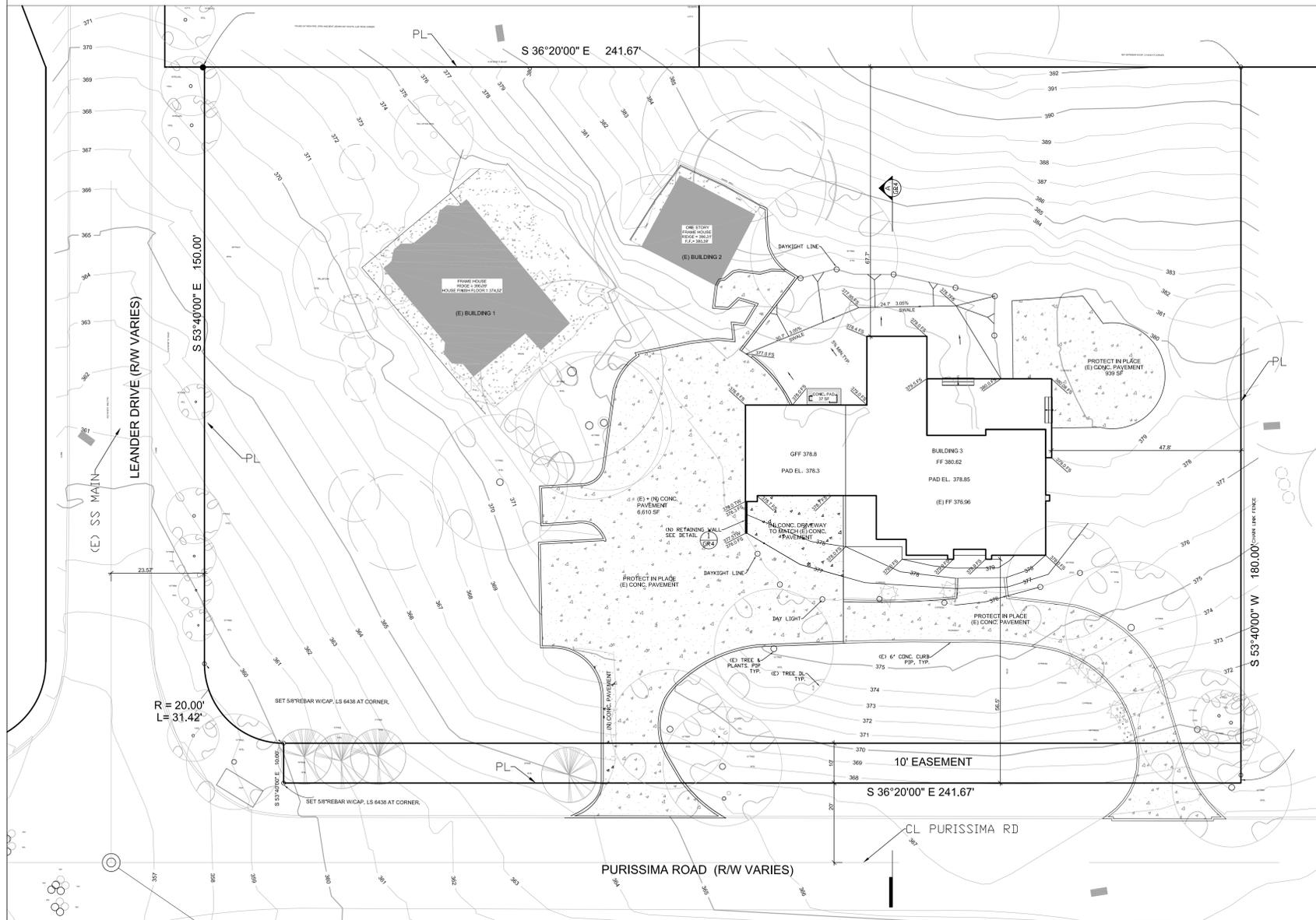
1 ELEVATION FROM NORTHEAST



2 ELEVATION FROM NORTHWEST

# GRADING PLAN FOR HSIA RESIDENCE

## 26685 PURISSIMA ROAD, LOS ALTOS HILLS IN THE COUNTY OF SANTA CLARA, CALIFORNIA

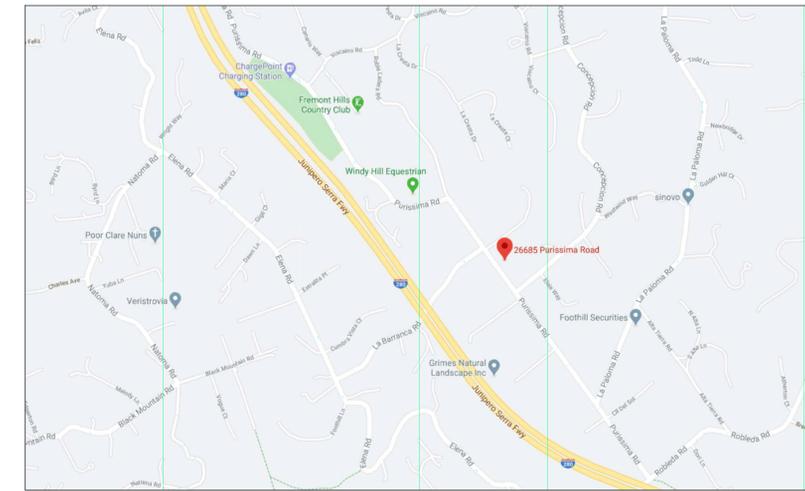
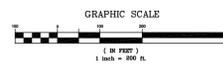


PLOT PLAN

SHEET INDEX:

GR1	SHEET 1 OF 6
GR2	SHEET 2 OF 6
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EC1	SHEET 5 OF 6
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TITLE SHEET
NOTES
GRADING PLAN
SECTION AND DETAIL
EROSION CONTROL PLAN
EROSION CONTROL DETAILS



VICINITY MAP  
NOT TO SCALE

PROJECT DATA:

ADDRESS: 26685 PURISSIMA ROAD  
LOS ALTOS HILLS, CA 94002

APN: 175-45-055

ZONING: RA

OWNER: MARK STEMM &. JENNIFER HSIA  
SAME  
(415)309-6368

ARCHTECH: TOBY LONG DESIGN  
6114 LA SALLE AVE. #552  
OAKLAND, CA 94611  
(510)333-3447

GEOTECH: TBD

TOPO SOURCE: T. K. M. LAND SURVEYORS  
2250 BOHANNON DRIVE  
SANTA CALRA, CA 95050  
(408)615-8855

GRADING DESIGN: JIMMY CHEN, P.E.  
DESIGN EVEREST  
365 FLOWER LANE  
MOUNTAIN VIEW, CA 94043  
(888)512-3152

AREA CALCULATIONS:

LOT SIZE:	IMPERVIOUS			PERVIOUS	
	BUILDING FOOTPRINTS	GAR/DWY	CONC. PAD	TOTAL	
E BLDG. 1 (SF)	998	-	1,031	2,029	-
E BLDG. 2 (SF)	435	-	109	544	-
E BLDG. 3 (SF)	2,444	6,645	1,765	10,854	-
E TOTAL (SF)	3,877	6,645	2,905	13,427	33,386
PROP. BLDG. 3 (SF)	2,936	6,610	976	10,522	-
PROP. TOTAL (SF)	4,369	6,610	2,116	13,095	33,718
IMPERVIOUS AREA INCREASED:	-332 SF				
QUANTITIES:	CUT <u>-55</u>	FILL <u>354</u>	IMPORT <u>300</u>	EXPORT <u>0</u>	

EARTHWORK QUANTITY ESTIMATE IS FOR PERMIT APPLICATION. CONTRACTOR SHALL BID EARTHWORK BASED ON ITS OWN ESTIMATE

- POST DEVELOPMENT IMPERVIOUS AREA IS LESS THAN PRE-DEVELOPMENT IMPERVIOUS AREA THE DEVELOPMENT DOES NOT REQUIRE STORM WATER STORAGE.
- ROOF DRAIN WILL BE DIRECTED TO LANDSCAPE AREA BEFORE DISCHARGE ONTO STREET.



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TITLE SHEET

GRADING PLAN FOR THE STEMM HSIA RESIDENCE  
26685 PURISSIMA ROAD  
LOS ALTOS HILLS, CA 94002

REV	DATE	DESCRIPTION



SIGN DATE: 06-24-2020  
DATE: AS NOTED  
SCALE: AS NOTED  
DRAWN BY: JC  
CKD BY: JC  
PROJECT #: 202002105

GR1

**GENERAL NOTES**

1. THE WORK SHOWN ON THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOS ALTOS HILLS STANDARD PLANS & SPECIFICATIONS.
2. IT SHALL BE UNDERSTOOD THAT THE TERM "CITY ENGINEER" AS USED HEREIN IS THE CITY ENGINEER OF THE TOWN OF LOS ALTOS HILLS OR HIS AUTHORIZED REPRESENTATIVE.
3. THE CONTRACTOR SHALL GIVE THE CITY ENGINEER TWO (2) WORKING DAYS ADVANCE NOTICE FOR INSPECTION SERVICES
4. ALL REVISIONS TO THESE PLANS MUST BE REVIEWED AND APPROVED IN WRITING BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION OF AFFECTED ITEMS. REVISIONS SHALL BE ACCURATELY SHOWN ON REVISED PLANS.
5. THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR THE ENTIRE PROJECT SITE AT ALL ITEMS. THE SITE SHALL BE SPRINKLED AS NECESSARY TO PREVENT DUST NUISANCE. INCREASED WATERING SHALL BE REQUIRED WHEN WIND SPEED EXCEEDS 10 MPH OR WHEN DIRECTED BY THE CITY. IN THE EVENT THE CONTRACTOR NEGLECTS TO USE ADEQUATE MEASURES TO CONTROL DUST, THE CITY RESERVES THE RIGHT TO TAKE WHATEVER MEASURES ARE NECESSARY TO CONTROL DUST AND CHARGE THE COST TO THE CONTRACTOR.
6. NO PERSON SHALL, WHEN HAULING ANY EARTH, SAND, GRAVEL, DEBRIS, PAPER, OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREETS OR OTHER PUBLIC PLACE, ALLOW MATERIAL TO BLOW OR SPILL OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY. ALL LOADS LEAVING THE SITE SHALL BE COVERED.
7. THE CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION DRIVES TO PREVENT TACKING OF SOIL, DUST, MUD OR CONSTRUCTION DEBRIS ON PUBLIC STREETS.
8. DURING CONSTRUCTION, THE PUBLIC STREETS SHALL BE CLEANED AS OFTEN AS REQUIRED TO REMOVE ANY ACCUMULATION OF MUD AND DEBRIS RESULTING FROM THIS CONSTRUCTION. IF IMPORT OR EXPORT OF DIRT IS NECESSARY, THE CONTRACTOR SHALL OBTAIN AN APPROVAL FOR THE HAULING ROUTE FROM THE CITY IF REQUIRED.
9. THE HAULING ROUTE SHALL BE STRICTLY ADHERED TO BY THE CONTRACTOR AND ALL SUBCONTRACTORS.
10. SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR SPECIFIED IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER AT (951)407-6619 BEFORE PROCEEDING WITH THE WORK IN QUESTION.
11. WHEN SPECIFICATIONS OR STANDARDS FROM DIFFERENT AUTHORITIES DIFFER FOR THE SAME SUBJECT MATTER, THE MOST STRINGENT SHALL GOVERN UNLESS OTHERWISE NOTED.
12. UPON SATISFACTORY COMPLETION OF THE WORK, THE ENTIRE WORK SITE SHALL BE CLEANED UP AND LEFT WITH A SMOOTH AND NEATLY GRADED SURFACE FREE OF CONSTRUCTION WASTE AND RUBBISH OF ANY NATURE BY THE CONTRACTOR TO THE SATISFACTION OF THE CITY.
13. ALL CONSTRUCTION STAKING SHALL BE DONE BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA. UPON COMPLETION OF GRADING, THE CONTRACTOR SHALL REQUEST THE LICENSED LAND SURVEYOR TO CHECK THE GRADES AND CERTIFY THAT THE PADS ARE GRADED TO WITHIN ± 0.10 FOOT OF FINISH PAD GRADE.
14. CONTRACTOR SHALL OBTAIN RIGHT OF ENTRY FROM ADJACENT PROPERTY OWNERS FOR WORK WITHIN ADJACENT PROPERTIES.
15. CONTRACTOR SHALL ARRANGE FOR REQUIRED INSPECTIONS BY THE CITY ENGINEER. NO DELAY OF WORK CLAIM WILL BE ALLOWED DUE TO CONTRACTOR'S FAILURE TO ARRANGE FOR REQUIRED CITY INSPECTIONS IN ADVANCE. CONTRACTOR SHALL PROVIDE NOTICE TO CITY ENGINEER A MINIMUM OF 2 WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS.
16. THE CONTRACTOR SHALL RESTORE ALL WALLS, FENCES, SERVICES, UTILITIES, PAVEMENT & CURB MARKING IMPROVEMENTS OR FEATURES OF WHATEVER NATURE WHICH ARE DAMAGED DUE TO THE CONTRACTOR'S WORK TO THEIR PREVIOUS CONDITION.
17. IF TEMPORARY LANE CLOSURE ARE REQUIRED FOR CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN AND OBTAIN APPROVAL FROM THE CITY ENGINEER BEFORE COMMENCING WORK. THE CONTRACTOR SHALL ALSO PROVIDE FLAG MEN, CONES OR BARRICADES, AS NECESSARY TO CONTROL TRAFFIC AND PREVENT HAZARDOUS CONDITIONS, PER CALTRANS STANDARDS.
18. EXISTING PEDESTRIAN WALKWAYS, BIKE PATHS AND HANDICAP ACCESS PATHWAYS SHALL BE MAINTAINED DURING CONSTRUCTION TO THE SATISFACTION OF THE CITY ENGINEER AND INSPECTOR.
19. IF PREHISTORIC OR HISTORIC-PERIOD CULTURAL MATERIALS ARE UNEARTHED DURING GROUND-DISTURBING ACTIVITIES, STOP WORK AND NOTIFY CITY ENGINEER FOR DIRECTION ON HOW TO PROCEED.

**EXISTING CONDITIONS**

1. EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS BASED ON A TOPOGRAPHIC SURVEY PERFORMED BY L. WADE HAMMOND, LLS. THE SITE CONDITIONS ENCOUNTERED ONSITE MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL REVIEW THE PLANS AND SPECIFICATIONS AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.
2. INFORMATION REGARDING EXISTING SUBSURFACE IMPROVEMENTS AND UTILITIES SHOWN ON THESE PLANS WAS TAKEN FROM RECORD DATA KNOWN TO THE DESIGN ENGINEER AND IS NOT MEANT TO BE A FULL CATALOG OF EXISTING CONDITIONS. CONTRACTOR SHALL CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING SUBSURFACE IMPROVEMENTS AND UTILITIES (WHETHER SHOWN ON THESE PLANS OR NOT) PRIOR TO THE COMMENCEMENT OF WORK. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS IN THE FIELD AND INFORMATION SHOWN ON THESE PLANS.
3. ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF ANY CONSTRUCTION AFFECTING SAID LINES.
4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE EXISTENCE OF ANY AND ALL UNDERGROUND FACILITIES, WHICH MAY BE SUBJECT TO DAMAGE BY REASON OF HIS OPERATIONS. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (USA) AT (800)227-2800, 48 HOURS PRIOR TO ANY EXCAVATION. WORK SHALL START WITHIN 5 DAYS AFTER THE ISSUANCE OF A USA INQUIRY IDENTIFICATION NUMBER. COMPLETE REMOVAL OF THE USA MARKINGS SHALL BE WITHIN 2 WORKING DAYS AFTER COMPLETION OF THE EXCAVATION, BACKFILL AND SURFACE REPLACEMENT OR FOURTEEN (14) CALENDAR DAYS FOLLOWING THE ISSUANCE OF THE INQUIRY IDENTIFICATION NUMBER, WHICHEVER IS EARLIER.
5. CONTACTING USA DOES NOT RELIEVE THE CONTRACTOR FROM HIS RESPONSIBILITY TO DETERMINE LOCATION AND DEPTH OF BURIED UTILITIES OR REPAIR OF BURIED UTILITIES DAMAGED BY HIS OPERATION.

**GRADING**

1. ALL GRADING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE NOTES AND REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE SOILS REPORT.
2. REFER TO SOILS REPORT WHEN COMPLETED.
3. THE GEOTECHNICAL ENGINEER SHALL BE PRESENT AT THE SITE DURING GRADING OPERATIONS AND SHALL PERFORM ALL TESTING DEEMED NECESSARY. THE GEOTECHNICAL ENGINEER SHALL OBSERVE GRADING OPERATIONS AND IDENTIFY THOSE CONDITIONS WITH RECOMMENDED CORRECTIVE MEASURES TO THE CONTRACTOR AND THE CONSTRUCTION MANAGER.
4. EARTHWORK AND SITE DRAINAGE, INCLUDING PIER FOUNDATION EXCAVATIONS, RETAINING WALL BACKFILL, SUBSURFACE PREPARATION BENEATH HARDSCAPE PLACEMENT, AND COMPACTION OF ENGINEERED FILL BENEATH HARDSCAPE, AND INSTALLATION OF SURFACE AND SUBSURFACE DRAINAGE SYSTEMS SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. THE GEOTECHNICAL ENGINEER SHOULD BE PROVIDED AT LEAST 48 HOURS ADVANCE NOTIFICATION OF ANY EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO OBSERVE AND/OR TEST AS NECESSARY THE EARTHWORK AND FOUNDATION INSTALLATION PHASES OF THE PROJECT.
5. EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED AND SHEETED SO THAT THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT EXISTING IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE. ANY DAMAGE RESULTING FROM LACK OF ADEQUATE SHORING, BRACING, AND SHEETING, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE CONTRACTOR SHALL EFFECT NECESSARY REPAIRS OR RECONSTRUCTION AT HIS OWN EXPENSE. WHERE THE EXCAVATION FOR A TRENCH, STRUCTURE AND/OR BORING OR JACKING PIT IS FIVE (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL CONFORM TO THE APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY OF THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL COMPLY WITH OSHA REQUIREMENTS AT ALL TIMES.
6. CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS, AND DIMENSIONS AS SET FORTH ON THESE PLANS. GRADED AREAS SHALL CONFIRM TO THE VERTICAL ELEVATIONS SHOWN WITHIN TOLERANCE OF ONE-TENTH OF A FOOT. WHERE GRADED AREAS DO NOT CONFORM TO THESE TOLERANCES, THE CONTRACTOR SHALL BE REQUIRED TO DO CORRECTIVE GRADING, AT NO EXTRA COST TO THE OWNER.

**NOISE REDUCTION**

1. CONSTRUCTION CONTRACTORS SHALL MUFFLE AND SHIELD INTAKES AND EXHAUSTS. SHROUD OR SHIELD IMPACT TOOLS, AND USE ELECTRIC-POWERED RATHER THAN DIESEL POWERED CONSTRUCTION EQUIPMENT (AS FEASIBLE).
2. ALL STATIONARY NOISE GENERATING EQUIPMENT SHALL BE LOCATED AS FAR AWAY AS POSSIBLE FROM NEIGHBORING PROPERTY LINES.

**RECORD DRAWINGS**

1. CONTRACTOR SHALL KEEP ACCURATE RECORD DRAWINGS WHICH SHOW THE FINAL LOCATION, ELEVATION AND DESCRIPTION OF ALL WORK. CONTRACTOR SHALL ALSO NOTE THE LOCATION AND ELEVATION OF ANY EXISTING IMPROVEMENTS ENCOUNTERED. RECORD DRAWINGS SHALL BE "REDLINED" ON A SET OF PRINTS. THE REDLINED PRINTS SHALL BE DELIVERED TO THE CONSTRUCTION MANAGER.

**STATEMENT OF RESPONSIBILITY**

1. CONSTRUCTION CONTRACTOR AGREES THAT ACCORDING TO GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, IMDENIFY AND HOLD DESIGN PROFESSIONAL AND CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
2. CONTRACTOR SHALL COMPLY WITH ALL STATE, COUNTY AND CITY LAWS AND ORDINANCES, AND REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, OSHA AND INDUSTRIAL ACCIDENT COMMISSION RELATING TO SAFETY AND CHARATER OF WORK EQUIPMENT AND LABOR PERSONNEL.

**UNAUTHORIZED CHANGES AND USES**

1. THE DESIGN ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

**EROSION AND SEDIMENT CONTROL**

1. CONTRACTOR SHALL IMPLEMENT MEASURES AS DETAILED IN THE APPROVED EROSION AND SEDIMENT CONTROL PLAN INCLUDED HEREIN.
2. CONTRACTOR IS REQUIRED TO OBTAIN ALL REQUIRED BATCH-WASTE WATER DISCHARGE PERMITS FROM DEWATERING ACTIVITIES.
3. MEASURES SHOWN IN THE EROSION CONTROL PLAN ARE MINIMUM REQUIREMENTS AND ADDITIONAL MEASURES SHOULD BE INCORPORATED AS NECESSARY FOR COMPLIANCE.
4. CONTRACTOR MAY ADJUST MEASURES AS SITE CONDITION CHANGES.
5. SEE SHEETS CXX FOR ADDITION EROSION CONTROL NOTES AND DETAILS.



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NOTES  
GRADING PLAN FOR THE STEM Hsia RESIDENCE  
26685 PURISSIMA ROAD  
LOS ALTOS HILLS, CA 84002

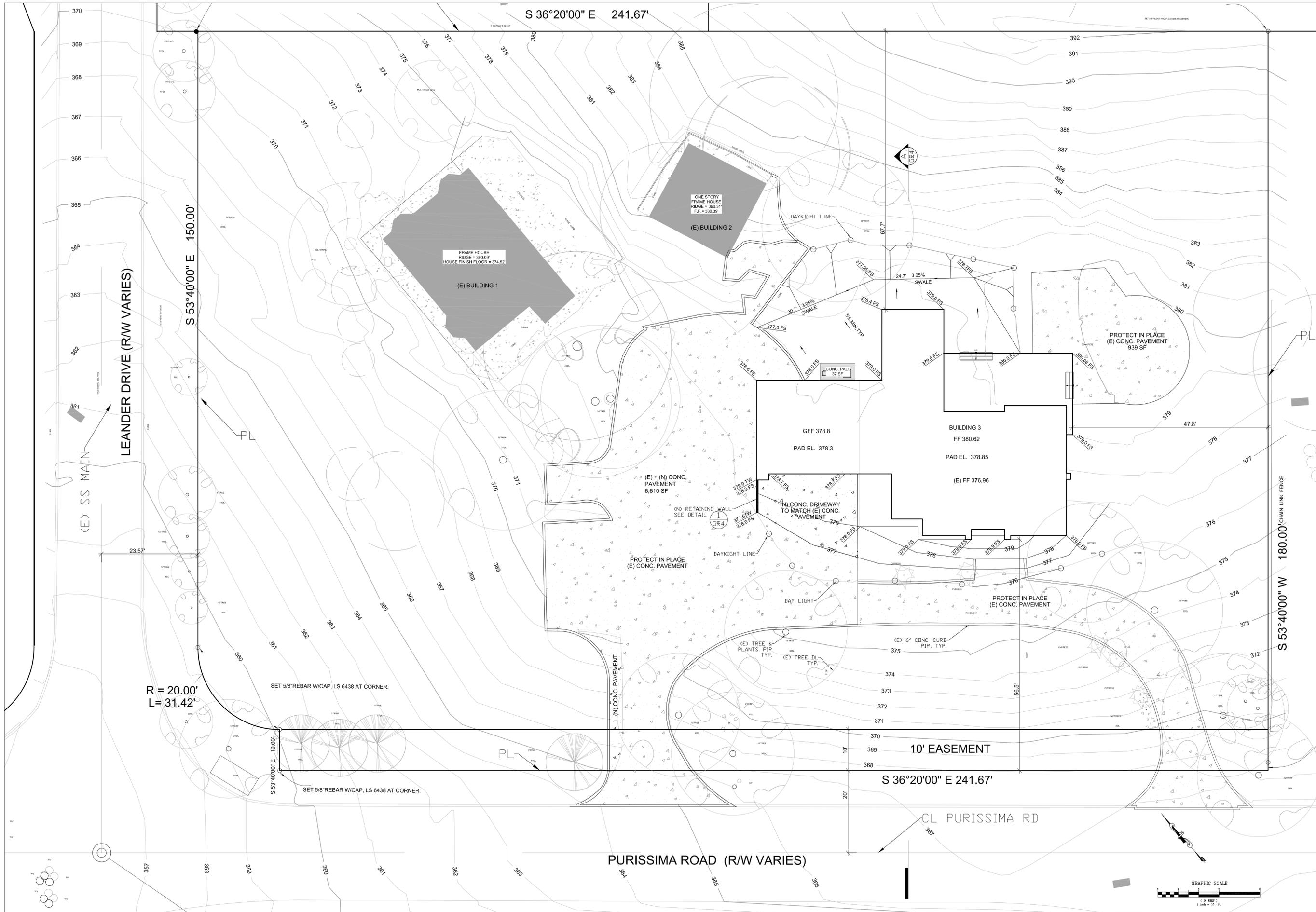
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SIGN DATE:	06-24-2020
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CKD BY:	JC
PROJECT #:	202002105

GR2



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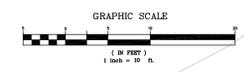
GRADING PLAN  
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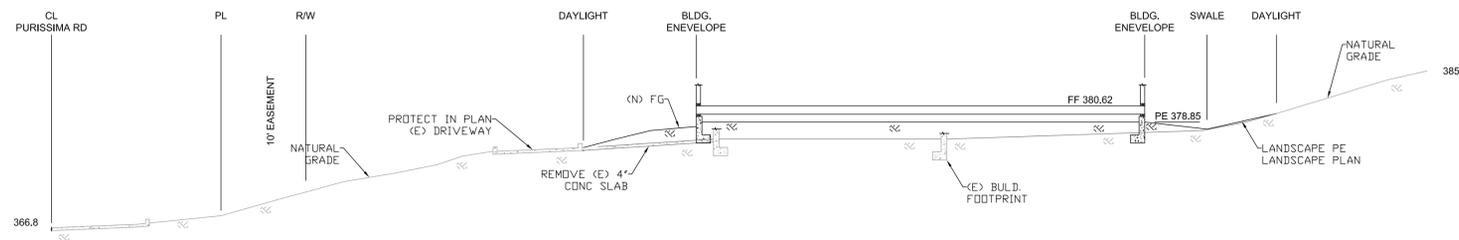
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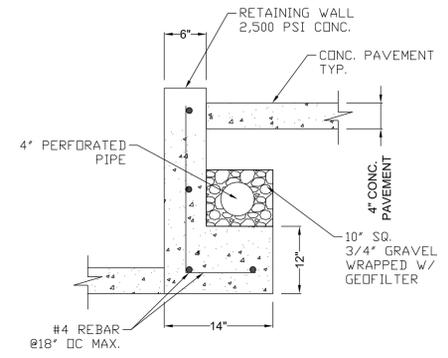
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GR3





SECTION A  
1" = 10'  
GR4



DETAIL 1  
NTS  
GR4

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SECTION & DETAIL  
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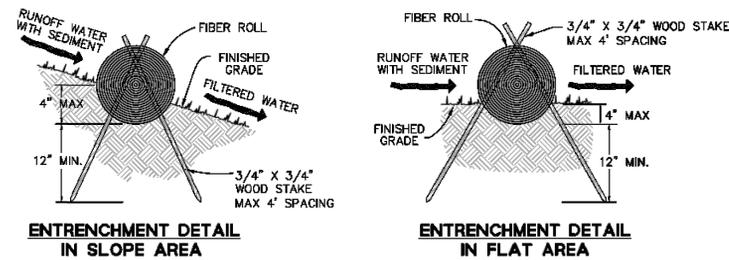
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GR4

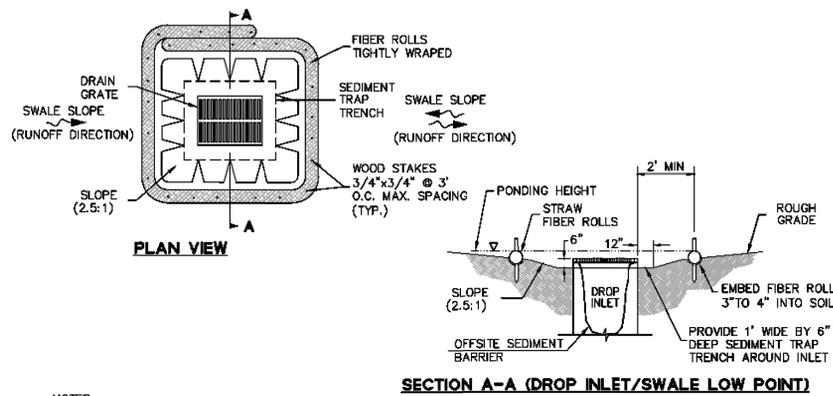




**NOTES:**

1. PREPARE SLOPE BEFORE THE FIBER ROLL PROCEDURE IS STARTED.
2. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3" TO 4" DEEP, RUN PARALLEL TO THE CONTOUR. INSTALL FIBER ROLL FROM THE BOTTOM OF THE SLOPE AND WORK UP.
3. USE A STRAIGHT BAR TO DRIVE HOLES THROUGH THE FIBER ROLL AND INTO THE SOIL FOR WOODEN STAKES.
4. DRIVE THE STAKE THROUGH THE PREPARED HOLE INTO THE SOIL. LEAVE ONLY ONE OR TWO INCHES OF STAKE EXPOSED ABOVE FIBER ROLL.
5. INSTALL STAKES AT LEAST EVERY THREE FEET APART THROUGH THE FIBER ROLL.
6. ADJACENT FIBER ROLLS SHALL TIGHTLY ABUT.
7. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.
8. INSTALL AT LOCATIONS SHOWN ON PLANS. IN SLOPE AREAS SPACE FIBER ROLLS EVERY 5 VERTICAL FEET ON SLOPE.

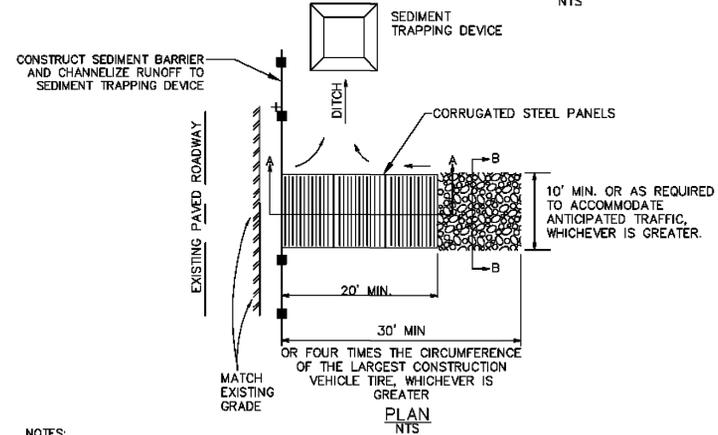
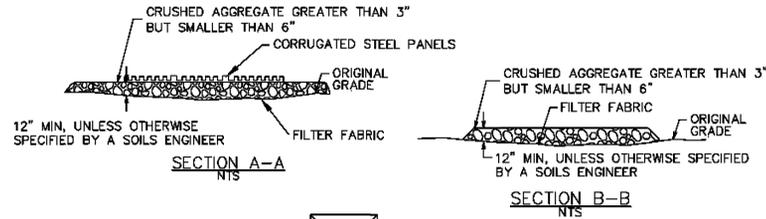
**1 FIBER ROLLS**  
NTS



**NOTES:**

1. PLACE FIBER ROLLS AROUND THE INLET CONSISTENT WITH DROP INLET GRAVEL BAG PROTECTION AND CURB INLET GRAVEL BAG PROTECTION DETAILS SHOWN ON THIS SHEET. ROLLS ARE TUBES MADE FROM STRAW BOUND W/ PLASTIC NETTING, APPROX. 8" DIAMETER AND 20 TO 30 FEET LONG.
2. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL IN A TRENCH, 3" - 4" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.
3. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY.
4. TEMPORARY REMOVABLE TRASH RACK: IF SITE CONDITIONS WARRANT, PROVIDE AND INSTALL TRASH RACK MADE FROM GALVANIZED WELDED WIRE FABRIC WITH OPENING SIZE 2" BY 2" FORMED AND ATTACHED TO THE INLET TOP GRATE WITH STEEL WIRE TIES AND BURRY WELDED WIRE FABRIC 4" MINIMUM BELOW TEMPORARY ROUGH GRADE GROUND ELEVATION.

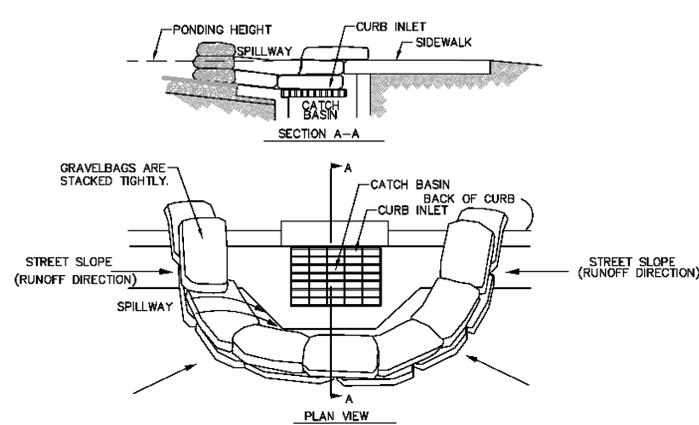
**3 AREA DRAIN INLET PROTECTION/SEDIMENT BARRIER**  
NTS



**NOTES:**

1. ALL CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USE TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE REMOVED IMMEDIATELY.
2. WHEELS SHALL BE CLEAN PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF INLET PROTECTION (E.G. SAND BAGS OR OTHER APPROVED METHODS).
3. THE MATERIAL FOR CONSTRUCTION OF THE PAD SHALL BE 3" TO 6" STONE.
4. THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 12".
5. THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.

**2 STABILIZED CONSTRUCTION ENTRANCE/EXIT**  
NTS



**NOTES:**

1. PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREETS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
2. BAGS OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY.
3. LEAVE ONE GRAVELBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY OVERFLOW. TOP OF SPILLWAY SHALL BE LOWER THAN TOP OF CURB.
4. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT, SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

**4 CURB DRAIN INLET PROTECTION/SEDIMENT BARRIER**  
NTS

REV	DATE	DESCRIPTION



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